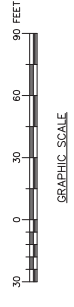
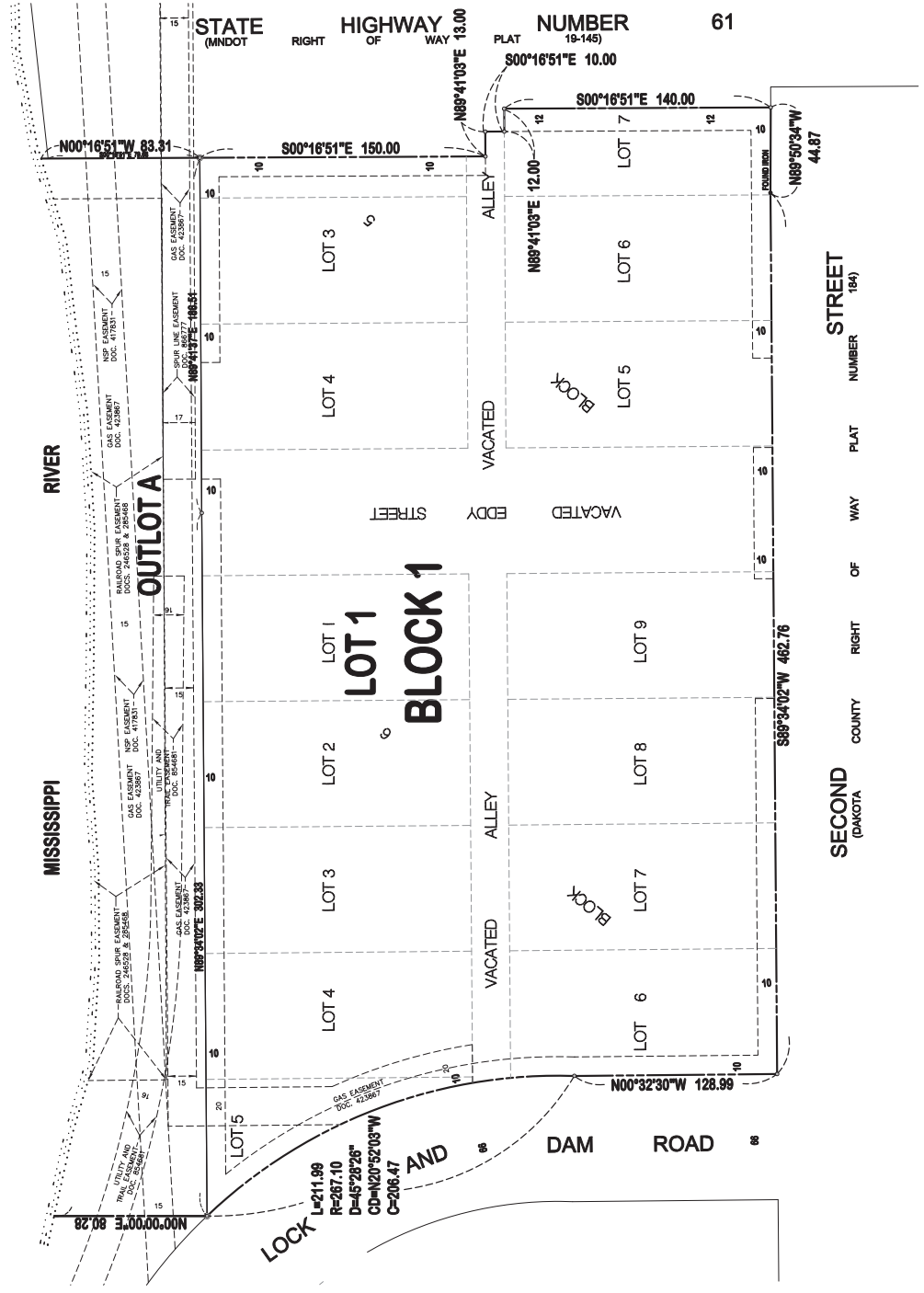


GREAT RIVERS LANDING



LEGEND
 ○ DENOTES 1/2" P.C.H BY 1/2" BENCH IRON PIPE MONUMENT MARKED SHOWN ON DRAWING
 • DENOTES FOUND MONUMENT, SIZE AND MARKINGS AS INDICATED

NOTES
 1) ORIENTATION OF THIS BEARING SYSTEM IS BASED ON DAKOTA COUNTY COORDINATE.

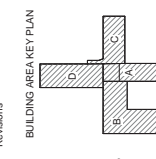


SECOND (DAKOTA) COUNTY RIGHT OF WAY PLAT NUMBER 184

I hereby certify this plan, specification or schedule of work was prepared by me or under my supervision and that I am a duly Licensed Architect or Engineer in the State of MINNESOTA

Pamela Bakken Anderson
Date: 05.11.15 Reg. No. 21241

NO.	DESCRIPTION	DATE



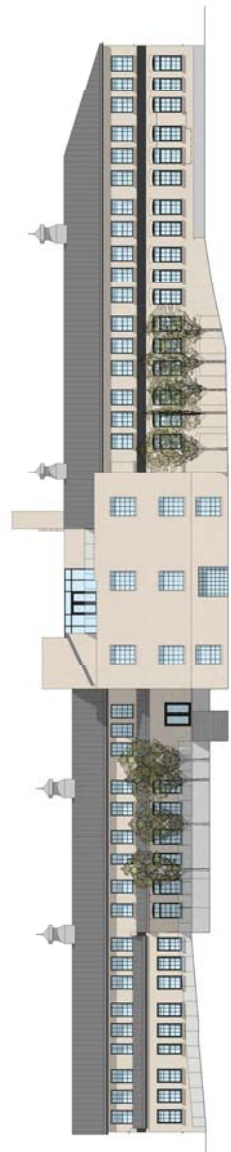
CITY PROPERTIES GROUP

GREAT RIVERS LANDING

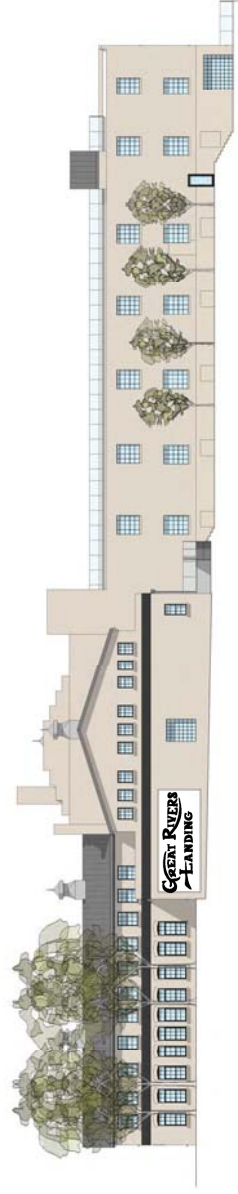
EXTERIOR ELEVATIONS - COLORED

Drawn by: XXXXXX XX
 Checked by: XXXXXX XX
 AutoCAD
 Checked by: C/16/26/15

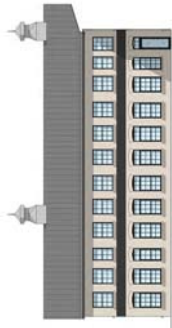
A411



① OVERALL - NORTH ELEVATION
1/16" = 1'-0"



② OVERALL - EAST ELEVATION
1/16" = 1'-0"



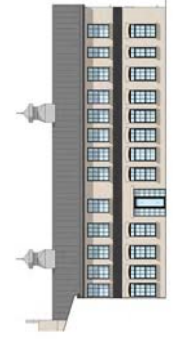
⑤ BLDG B - EAST ELEVATION
1/16" = 1'-0"



③ OVERALL - SOUTH ELEVATION
1/16" = 1'-0"



④ OVERALL - WEST ELEVATION
1/16" = 1'-0"



⑥ BLDG A - WEST ELEVATION
1/16" = 1'-0"

DRAWING PHASE:	
OWNER REVIEW	Y
AGENCY REVIEW	
BIDD DOCUMENT	
FOR CONSTRUCTION	
AS BUILT DOCUMENT	

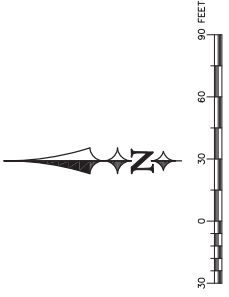
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 PROJECT NO. 17000 A. EDITION: 01
 17000 A. EDITION: 01
 4041B
 LICENSE NO. 0910032015
 DATE: 09/03/2015

CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

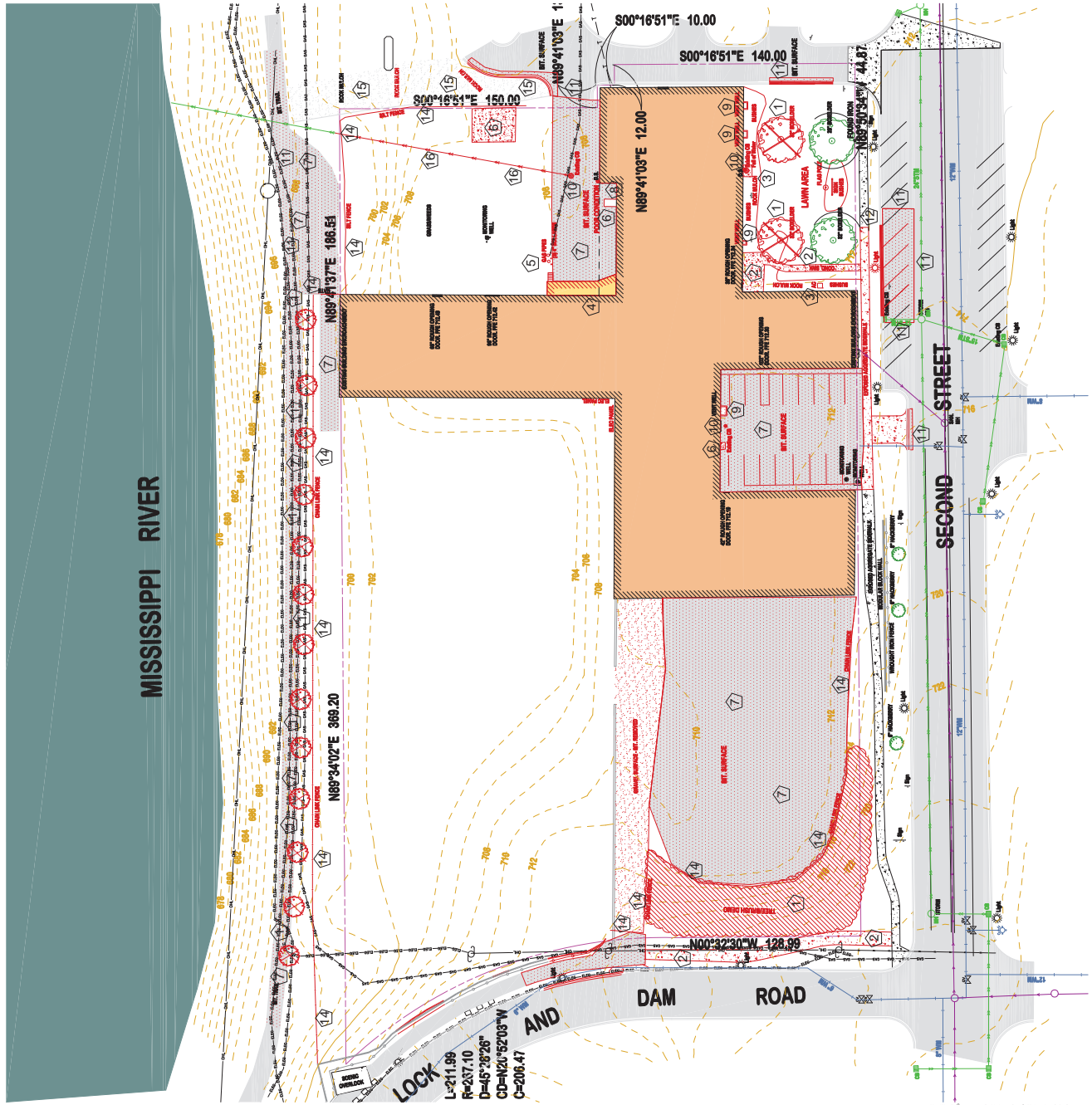
DATE: 15-143
 SHEET TITLE: EXISTING CONDITIONS & DEMO PLAN
 SHEET NO.: C1
 SHEET 1 OF 6



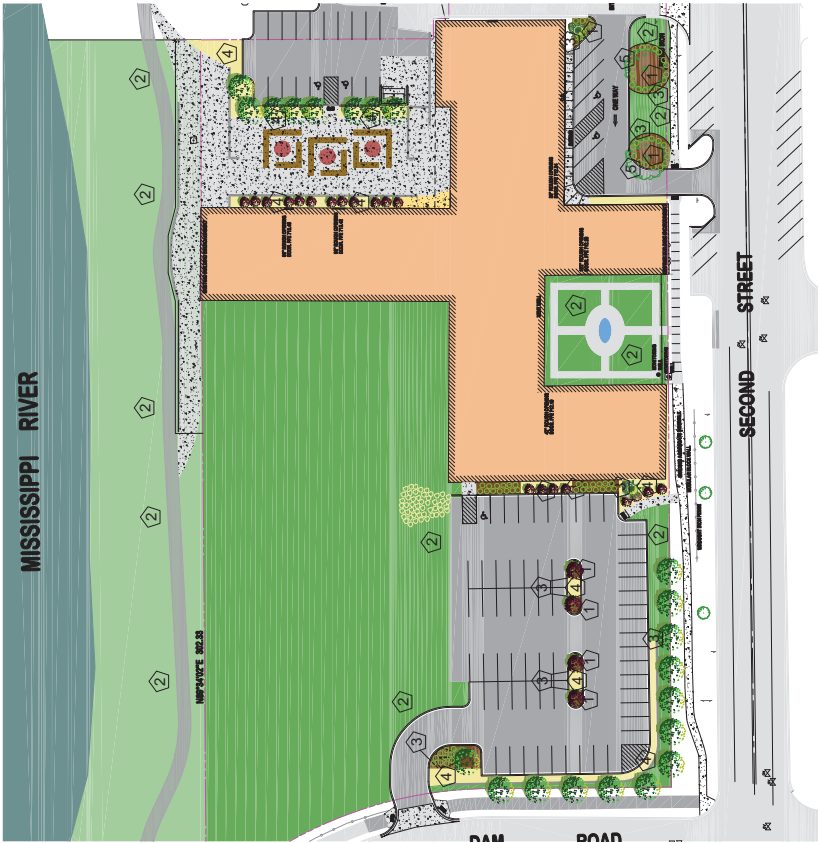
- LEGEND:**
- EXISTING BOUNDARY
 - EXISTING CONTOURS (2 FOOT CONTOUR INTERVAL)
 - OVER HEAD ELECTRIC LINE
 - UG GAS LINE
 - UG ELECTRIC LINE
 - WATER LINE
 - STORM SEWER LINE
 - SANITARY SEWER LINE
 - STORM MANHOLE, CATCH BASIN
 - SANITARY MANHOLE
 - POWER POLE

- KEYED NOTES:**
- REMOVE EXISTING TREE(S) AND STUMP(S).
 - REMOVE EXISTING CONCRETE SIDEWALK.
 - REMOVE EXISTING LANDSCAPE MATERIALS, SHRUBS AND CONCRETE WELLS, CATCH BASIN AND AC UNIT.
 - REMOVE EXISTING DOCK/ADDITION.
 - COORDINATE WITH GAS COMPANY TO RELOCATE EXISTING GAS METERS TO BUILDING FACE.
 - REMOVE EXISTING CONCRETE PAD.
 - REMOVE EXISTING BIT. SURFACE.
 - REMOVE EXISTING CONCRETE WALL(S).
 - REMOVE EXISTING CONCRETE VENT
 - REMOVE EXISTING CATCH BASIN
 - SAW CUT BIT. FULL DEPTH PRIOR TO REMOVAL
 - SAW CUT CONCRETE SIDEWALK PRIOR TO REMOVAL
 - PROTECT EXISTING TREES
 - REMOVE EXISTING FENCE
 - REMOVE ROCK MULCH AS REQUIRED FOR NEW PARKING AREA
 - REMOVE EXISTING STORM PIPE TO NEW MANHOLE

LEGAL DESCRIPTION:
 Lots 1, 2, 3, 4, 5, 6, 7 and the South ninety-eight and five sixths feet of Lot 8, in Block 5; and Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9, in Block 6 all in the town now City of Hastings, Dakota County, Minnesota, together with the vacated alley lying in said Block 5 and 6 together with that part of vacated Eddy Street lying between the extensions of the North and South lines of said Block 5 and 6.
 Except that part of Lots 1, 2, 3, 4, 7, 8 and the vacated alley, Block 5, and Lots 1, 2, 3, 4 and 5, Block 6, Town of Hastings, shown as Parcel 26 on Minnesota Department of Transportation Right of Way Numbered 19-145 recorded as Document No. 2684370.



MISSISSIPPI RIVER



PLANT PALLETTE

Plant Name	Latin Name	Size	Type
A. Avoncrisp Maple	<i>Acer x freemanii "Avoncrisp"</i>	2-1/2" DIA.	B&B
B. Prairie Fire Crab Apple	<i>Malus "Prairie Fire"</i>	2-1/2" DIA.	B&B
C. Snowdance Japanese Liriodendron	<i>Syringa reticulata "Snowdance"</i>	2-1/2" DIA.	B&B
D. Royal Red Norway Maple	<i>Acer platanoides "Royal Red"</i>	2-1/2" DIA.	B&B
E. Fat Albert Blue Spruce	<i>Picea canadensis "Fat Albert"</i>	2-1/2" DIA.	B&B
F. River Birch	<i>Betula nigra "Heritage"</i>	10-FT.	B&B
G. Purple Emperor	<i>Physocarpus opulifolius "Monto"</i>	#5	Container
H. Spirea Tor Birchleaf	<i>Spiraea betulifolia "Tor"</i>	#2	Container
J. Purple Emperor	<i>Sedum "Purple Emperor"</i>	#1	Container
K. Strawberry Candy Daylily	<i>Hemerocallis "Strawberry Candy"</i>	#1	Container
L. Karl Foerster Reed Grass	<i>Calamagrostis x acutiflora "Karl Foerster"</i>	#1	Container
M. Cardinal Dogwood	<i>Cornus sericea Cardinal</i>	#5	Container



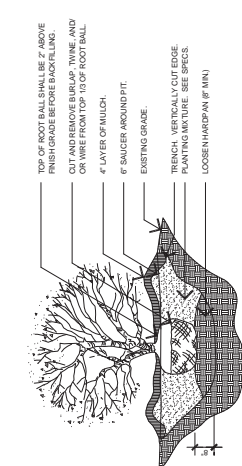
Strawberry Candy Daylily

Karl Foerster Reed Grass

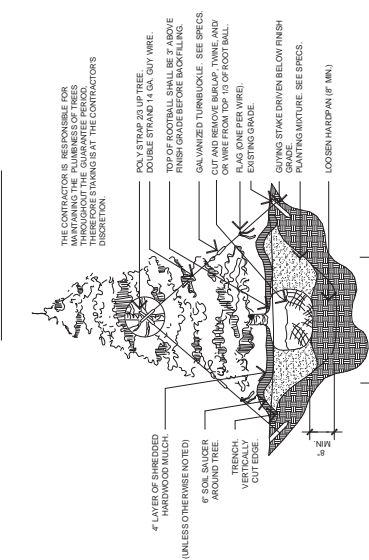
Spirea Tor Birchleaf

Diablo Nine Bark

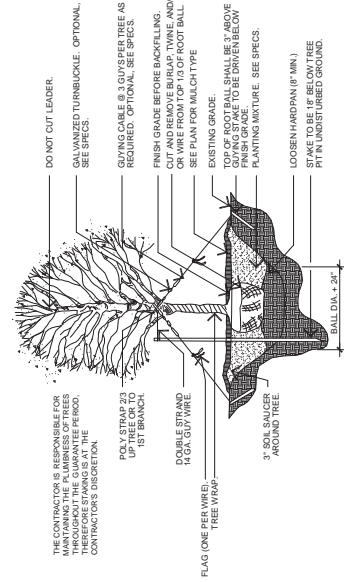
Purple Emperor Stonecrop



SHRUB PLANTING



CONIFEROUS TREE PLANTING



DECIDUOUS TREE PLANTING

BRICKSON CIVIL
 1333 North Lake Street, Suite 201
 Hastings, MN 55033
 Phone: (612) 390-3904
 www.bricksoncivil.com

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 OWNER REVIEW
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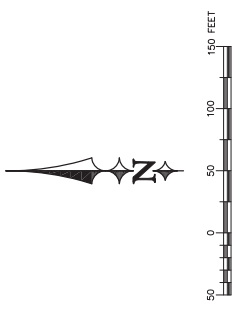
17659 A. ESTADON, TX
 LICENSE NO. 40418
 09/03/2015
 DATE

CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB# 15-143
 SHEET# LANDSCAPE PLAN
 SCALE L1
 SHEET 1 OF 1



LEGEND:

- EXTERIOR PROPERTY BOUNDARY
- DENOTES PROPOSED DECIDUOUS TREE
- DENOTES PROPOSED ORNAMENTAL TREE
- DENOTES PROPOSED CONIFEROUS TREE
- DENOTES PROPOSED #5 SHRUB (5 TO 6-FT MATURITY SIZE)
- DENOTES PROPOSED #5 CONIFEROUS SHRUB (2 TO 3-FT MATURITY SIZE)
- DENOTES PROPOSED #1 PERENNIAL

KEYED NOTES:

- 6" COARSE SHREDED HARDWOOD MULCH (NO FABRIC)
- 6" OF TOPSOIL AND HYDROSEED 20 LBS/ACRE LOW GROW FESCUE WITH 20 LBS/ACRE ANNUAL RYE WITH TOPKIFIER AND FERTILIZER.
- HEAVY DUTY BROWN METAL EDGING.
- 6" OF 2"-4" LIMESTONE ROCKER OVER 1800BT TYPE IV GEOTEXTILE, NON-WOVEN.
- APPLY A DEEP ROOT FERTILIZER TO EXISTING BOX ELDER(S) TO REMAIN.

NOTES:

- ALL PLANTING SITES SHALL RECEIVE A MINIMUM OF TOPSOIL, THE LAY LANDSCAPE FABRIC AND BROWN METAL EDGING WHERE MULCH MEETS LAWN.
- ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL. ENTIRE SITES SHALL BE BRIGATED. DESIGNABLE BY CONTRACTOR.
- SEE SPECIFICATIONS FOR PLANTING AND MULCHING. ALL AREAS CALLED OUT FOR SEEDS SHALL RECEIVE LOW GROW FESCUE MAY FROM TWIN CITY SEED COMPANY AND BE SEED AT A RATE OF 200 LBS. PER ACRE. (W/ 20 LBS/ACRE ANNUAL RYE IRRIGATION CONTROL BOX SHALL BE BY LANDSCAPE CONTRACTOR.
- BUILDING CONTRACTOR SHALL INCLUDE COST OF ELECTRICAL AND WATER MAINS TO ALL UTILITY LOCATIONS. IRRIGATION CONTROL BOX SHALL BE BY LANDSCAPE CONTRACTOR.
- MAINTENANCE STRIP AND OTHER AREAS IDENTIFIED FOR MULCH PLANTING AREAS SHALL RECEIVE 6" OF PERENNIAL AND ANNUAL PLANTING MULCH WITH NO FABRIC.



DRAWING PHASE:	OWNER REVIEW
AGENCY REVIEW	✓
BIDD DOCUMENT	
FOR CONSTRUCTION	
AS-BUILT DOCUMENT	

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PROJECT NO. 15-143
 DATE 09/03/2015
 LICENSE NO. 40418
 DESIGNER: TERRY A. ENGLISH, P.E.

CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

COVENTRY COOPERATIVE
 HASTINGS, MINNESOTA

NO.	REVISION DESCRIPTION	DATE



- LEGEND:**
- PROPOSED BOUNDARY
 - ⊠ SINGLE - 20-FT POLE MOUNTED - LED - FULL CUT OFF - SR3 TWO ENGINE
 - SINGLE - 14-FT BUILDING MOUNTED - LED - FULL CUT OFF - CSXW SR4
 - ⊠, ⊡ CALCULATED LUMEN

- NOTES:**
- 1) FINAL DESIGN OF ELECTRICAL SYSTEM BY LICENSED ELECTRICAL CONTRACTOR
 - 2) WIRING LOCATION AND SIZING TO BE DETERMINED BY INSTALLING ELECTRICIAN
 - 3) INSTALLATION SHALL INCLUDE CONNECTION TO EXISTING POWER PANEL ON INTERIOR OF BUILDING
 - 4) INSTALLATION SHALL INCLUDE THE INSTALLATION OF A TIMER AND LIGHT SENSOR

PARKING LOT LIGHTING

CSX1 LED LED Pole Luminaire

BUILDING MOUNTED LIGHTING

CSXW LED LED Pole Luminaire

REMARKS:

REMARKS:



A Bioswale / Rain Gardens

The bioswale allows for natural collection and infiltration of rain water, even during major rain events. A naturalized planting scheme of native perennials that can withstand periods of saturated soils and drought will be selected.



B Roof Runoff

Water will be collected from the roof and piped to an underground cistern that is connected to an irrigation system. Once the cistern is full, excess roof water will be diverted to the bioswale.



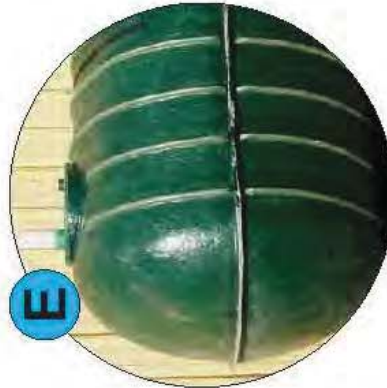
C Irrigation / Cistern

The cistern could be sized to capture a one inch rain event over the roof area, approximately 7,300 gallons of water. The water will be stored below the ground until such time as the irrigation system is used to maintain the landscaping during time of drought.



D Road Runoff

Approximately 14,000 SF of stormwater runoff from Second Street and Lock and Dam Road can be diverted into tree wells and bioswales. During a one-inch rain event, potential capture could be 7,850 gallons.



E Cistern

The cistern will receive roof water and be utilized for irrigation of the lawn and other landscaped areas.



F Parking Lot Runoff

Water will sheet flow toward the bioswale / rain gardens and allow for absorption of 13,000 gallons of water during a one inch rain event. Permeable paving will be explored should the capacity of the rain gardens be maximized.



G Lawn Infiltration

The oval lawn will accommodate a wide range of uses ranging from picnics to festivals. The lawn will be engineered for good drainage and optimal turf growth, allowing for summer long events to take place.



H Sculptural Berming

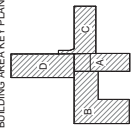
The park consists of elliptical forms, including berming throughout the rain gardens. Children of all ages can climb onto the berms to get a closer look at the perennial plantings within the bioswales or lay back and watch the clouds go by.

I hereby certify this plan, specification or schedule of work is true and correct to my observation and that I am a duly Licensed Architect and that I am not the owner of MINNESOTA

Pamela Bakken Anderson
Date: 05.11.15 Reg. No. 21241

NO.	DESCRIPTION	DATE

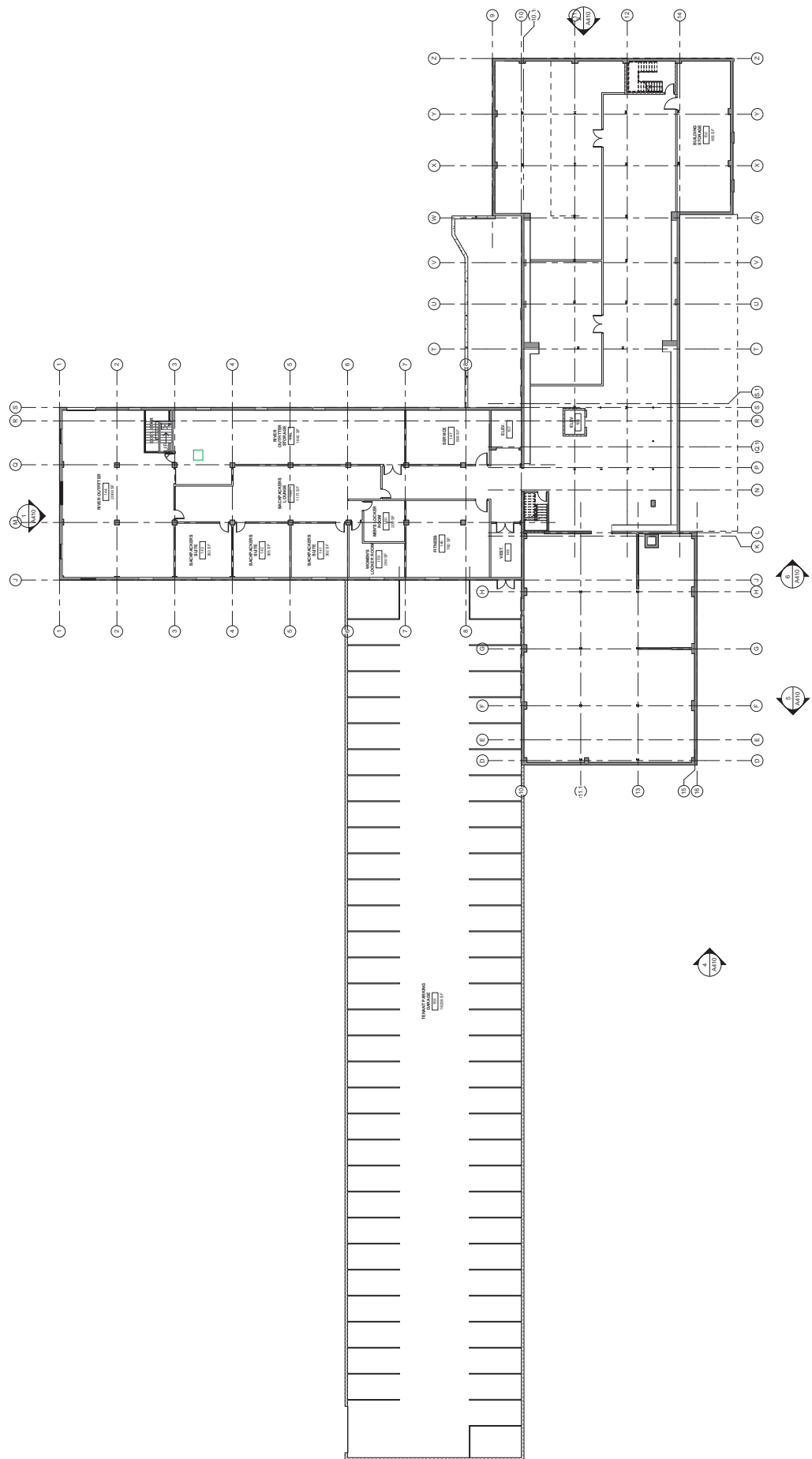
Revisions
BUILDING AREA KEY PLAN



CITY PROPERTIES GROUP GREAT RIVER LANDING BASEMENT FLOOR PLAN

Drawing Number	XXXXXX
Drawn by	XXXXXX
Checked by	Chickler

A100

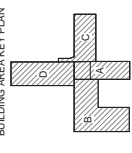


I hereby certify this plan, specification or schedule of work as a true and correct representation of the work to be done in accordance with the contract documents for this project.

Pamela Bakken Anderson
 Date: 05.11.15 Reg. No. 21241

NO.	DESCRIPTION	DATE

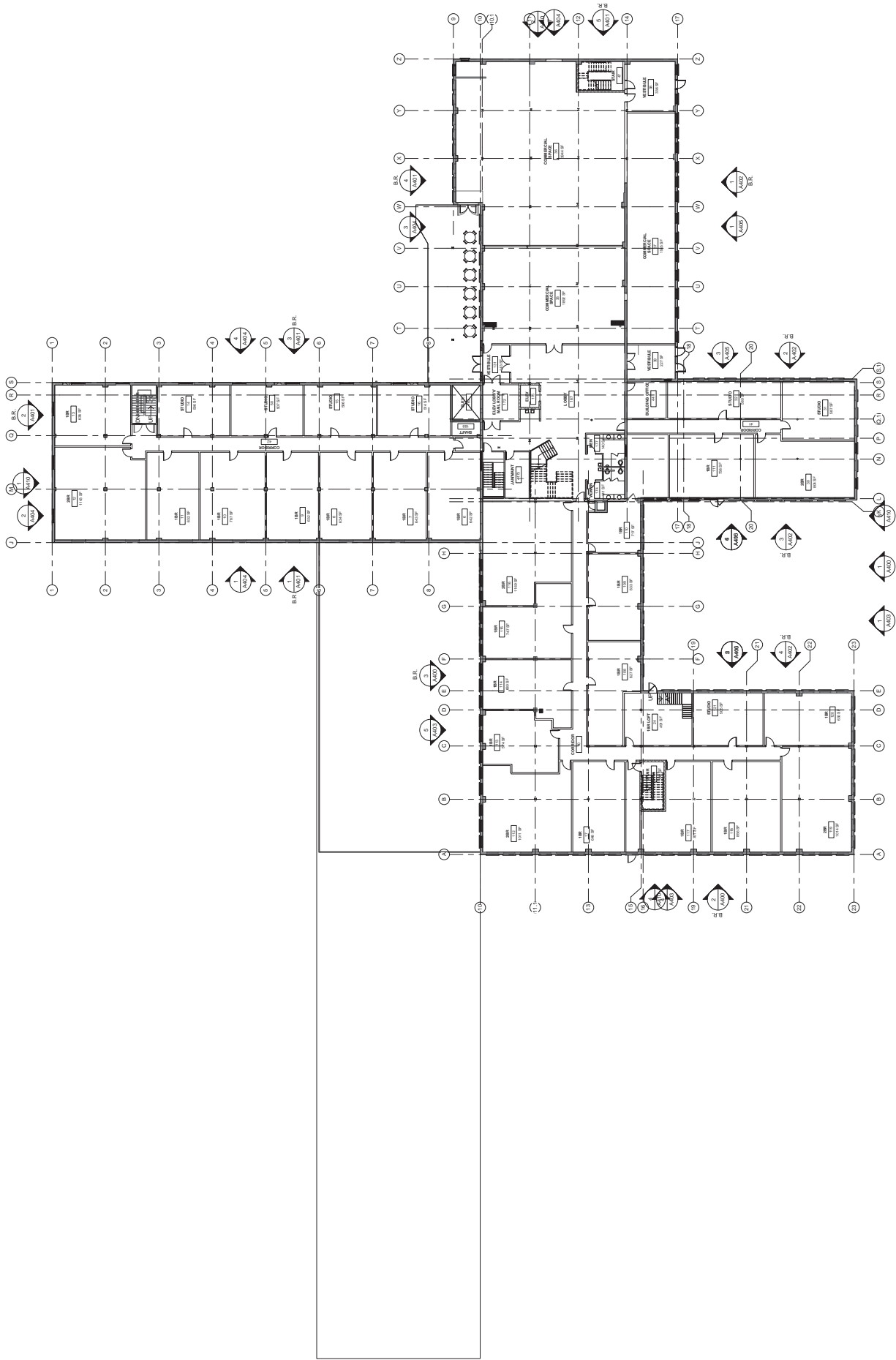
Revisions



CITY PROPERTIES GROUP
GREAT RIVER LANDING
FIRST FLOOR PLAN

Drawn by: XXXXXX
 Checked by: XXXXXX
 Date: 05/11/15

A101



⑤ FIRST FLOOR - OVERALL
 1/8" = 1'-0"

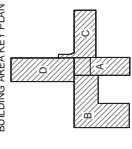
I hereby certify this plan, specification or agreement and that I am a duly Licensed Architect and that I am the author of this plan in the State of MINNESOTA.

Pamela Bakken Anderson
Date: 05.11.15 Reg. No. 21241

NO.	DESCRIPTION	DATE

REVISIONS

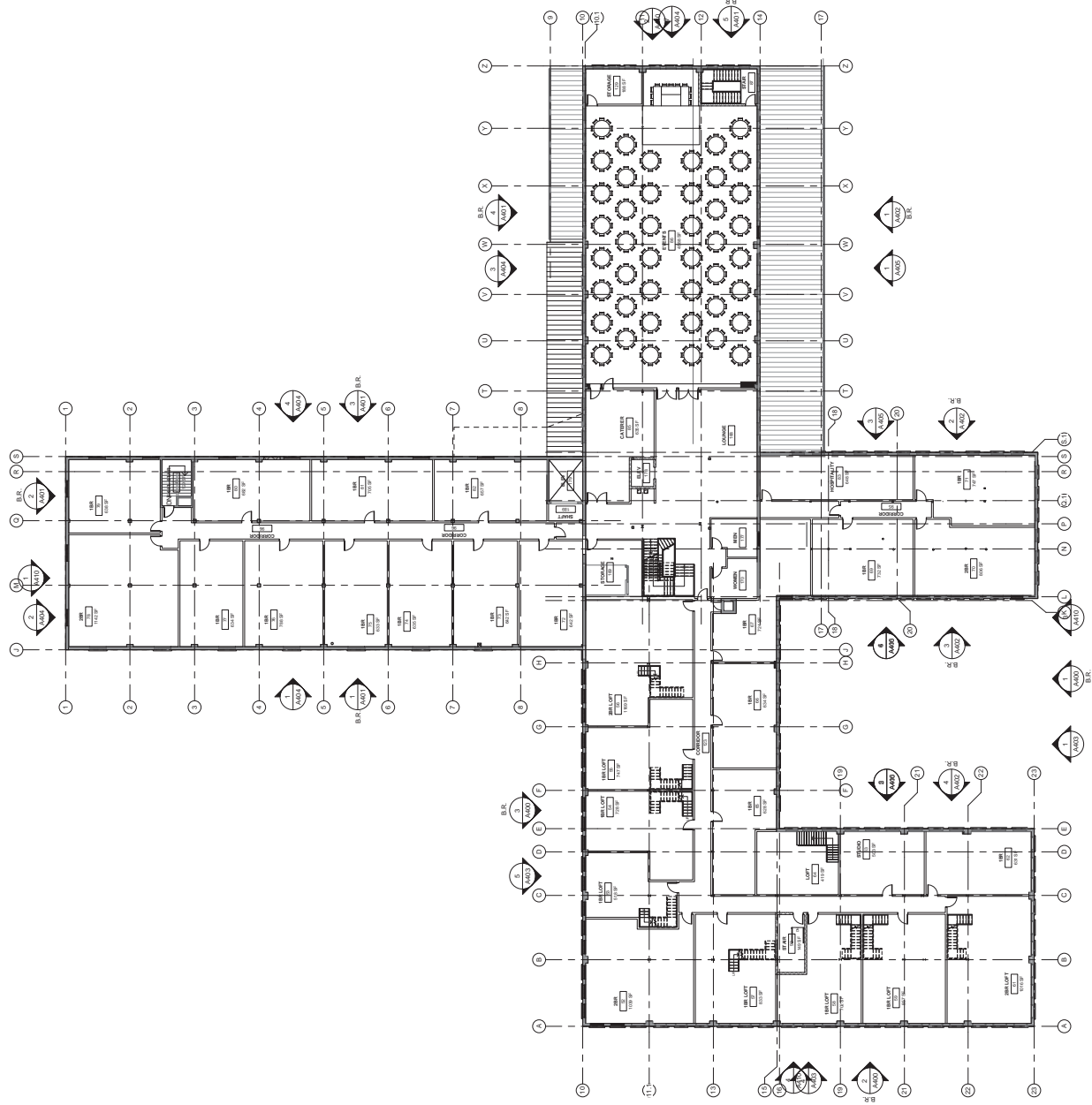
BUILDING AREA KEY PLAN



CITY PROPERTIES GROUP
GREAT RIVER LANDING
SECOND FLOOR PLAN

Drawn by:	XXXXXX XX
Checked by:	XXXXXX XX
Author:	
Checked by:	

A102

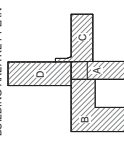


I hereby certify this plan, specification or
other document as a true and correct
representation of the actual work
shown and that I am a duly Licensed
Architect or Engineer in the state of
MINNESOTA.

Pamela Bakken-Anderson
Date: 05.11.15 Reg. No. 21241

NO.	DESCRIPTION	DATE

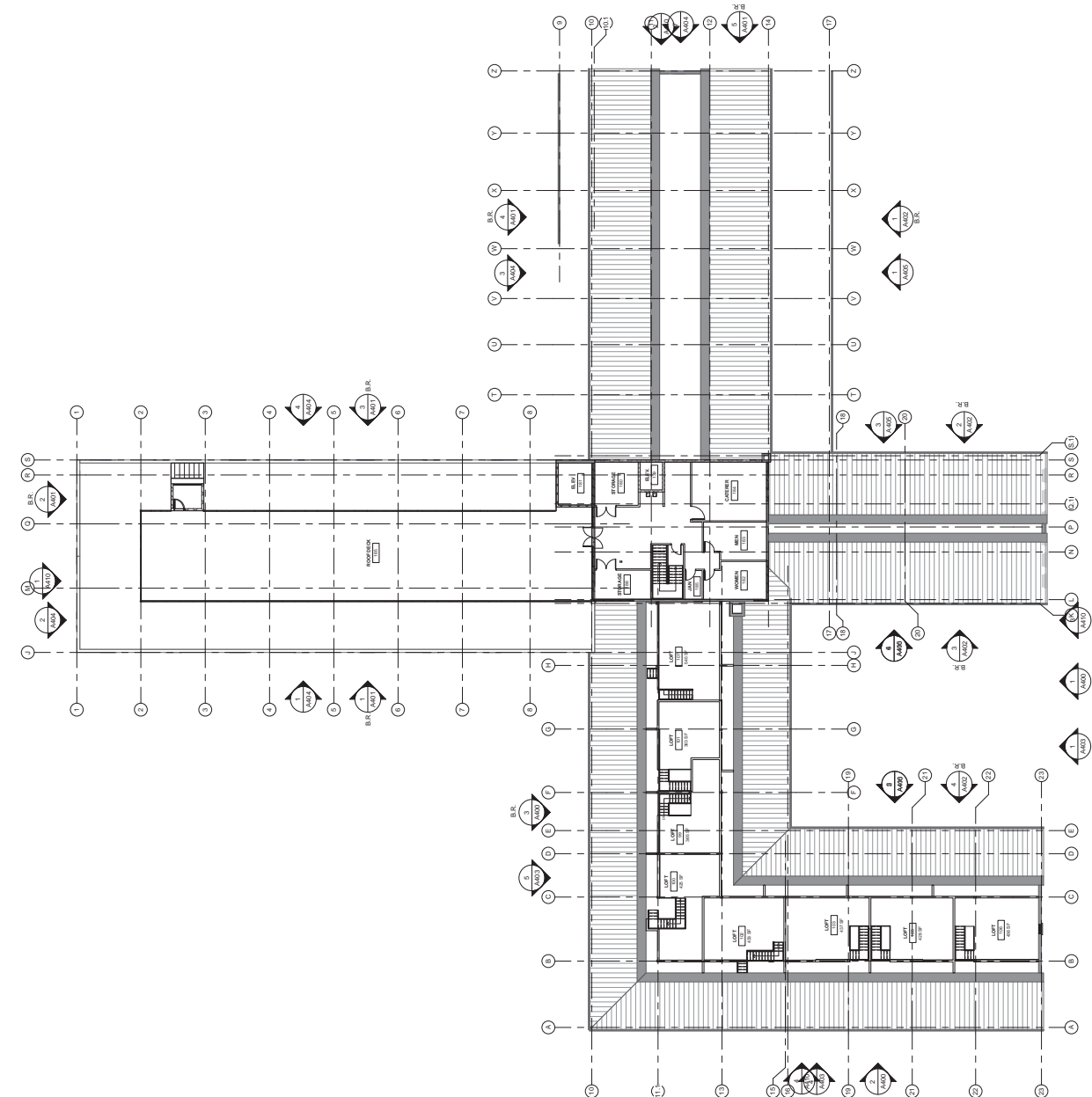
Revisions



CITY PROPERTIES GROUP GREAT RIVER LANDING LOFT FLOOR PLAN

Discipline/Rev: XXXXXX.XX
Date: 05.11.15
Drawn by: AAndo
Checked by: CAndo

A103



LOFT PLAN - OVERALL
1/16" = 1'-0"

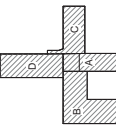
I hereby certify this plan, specification or
other data contained hereon to be true and
correct and that I am a duly Licensed
Architect and that I am not the owner of
MINNESOTA.

Pamela Bakken Anderson
Date: 05.11.15 Reg. No. 21241

Revisions

NO.	DESCRIPTION	DATE

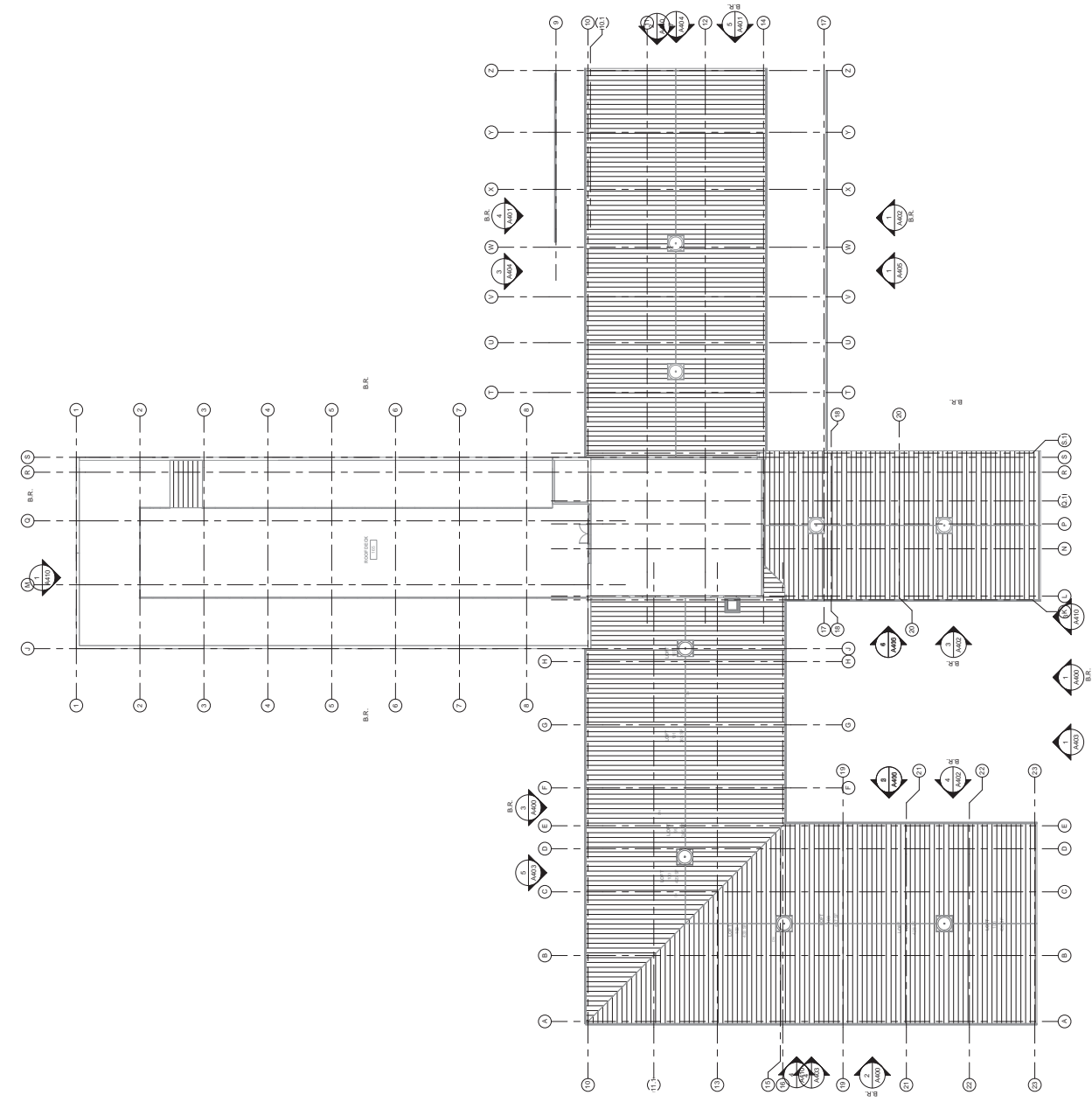
BUILDING AREA KEY PLAN



**CITY
PROPERTIES
GROUP**
**GREAT RIVER
LANDING**
**OVERALL PLAN -
ROOF**

Drawn by	XXXXXXXX
Checked by	XXXXXX
Author	Autob
Checked by	Chlcker

A104

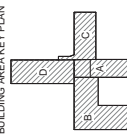


I hereby certify this plan, specification or contract document was prepared by me or under my supervision and that I am a duly Licensed Architect and that I am not the holder of a suspended license in the State of MINNESOTA.

Pamela Bakken Anderson
Date: 05.11.15 Reg. No. 21241

NO.	DESCRIPTION	DATE

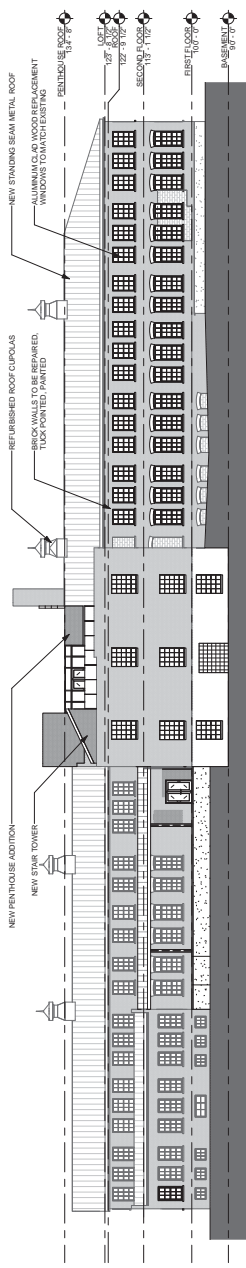
Revisions



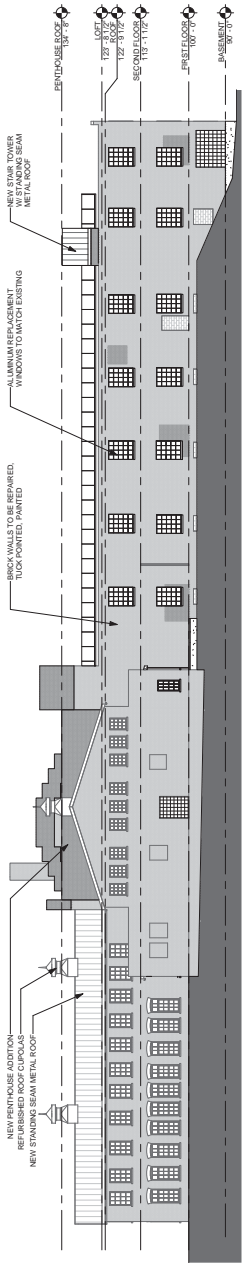
CITY PROPERTIES GROUP GREAT RIVER LANDING EXTERIOR ELEVATIONS

Drawn by: XXXXXX XX
 Drawn by: XXXXXX XX
 Checked by: OJESER

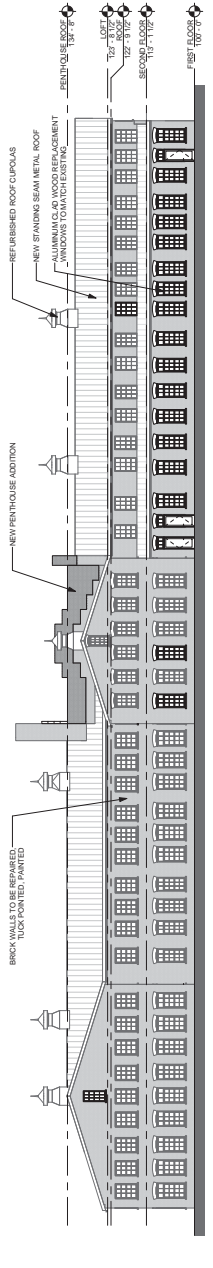
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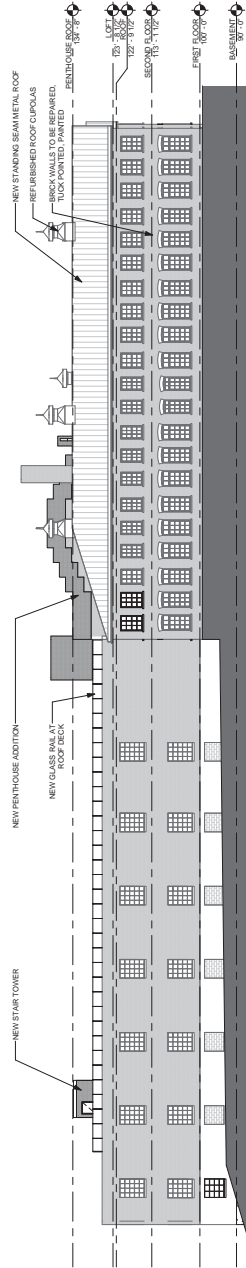
1 OVERALL - NORTH ELEVATION
1/16" = 1'-0"



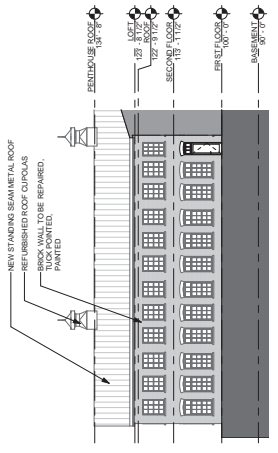
2 OVERALL - EAST ELEVATION
1/16" = 1'-0"



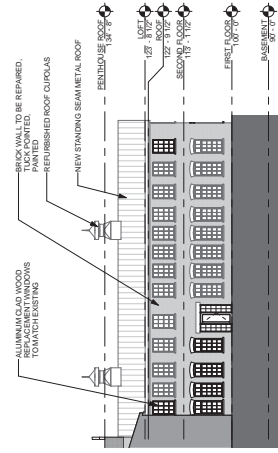
3 OVERALL - SOUTH ELEVATION
1/16" = 1'-0"



4 OVERALL - WEST ELEVATION
1/16" = 1'-0"



5 BLDG. B - EAST ELEVATION
1/16" = 1'-0"



6 BLDG. A - WEST ELEVATION
1/16" = 1'-0"

DRAWING PHASE:	
OWNER REVIEW	
AGENCY REVIEW	
FOR CONSTRUCTION	
AS-BUILT DOCUMENT	

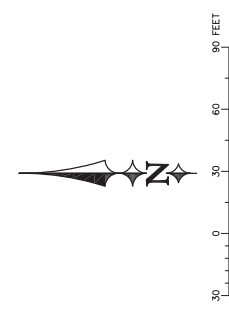
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17025 A. ERICKSON, P.E.
 LICENSE NO. 40418
 09/03/2015
 DATE

CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

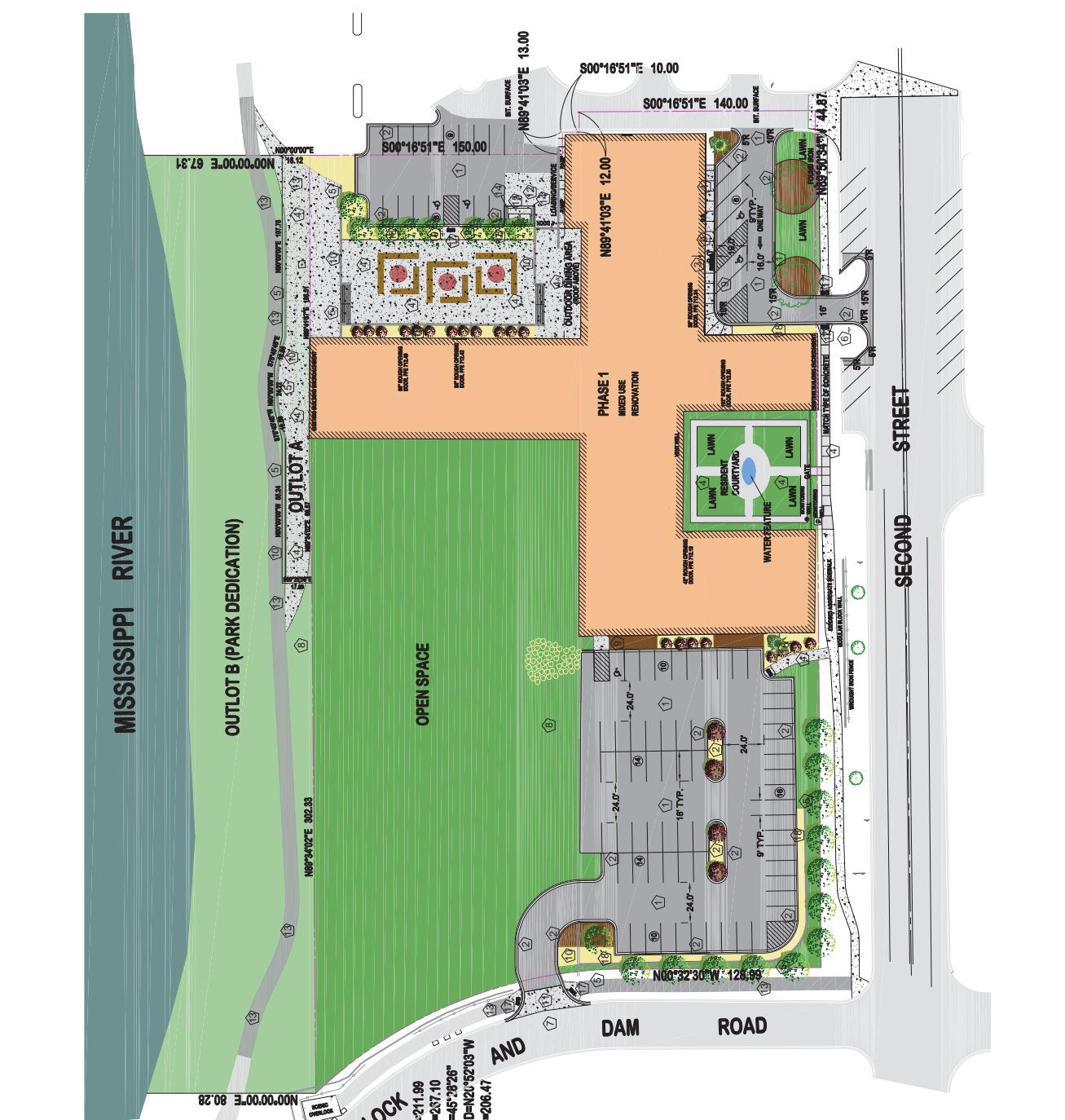
GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

NO.	REVISION DESCRIPTION	DATE



- KEYED NOTES:**
- INSTALL BITUMINOUS PAVEMENT. REFER TO DETAIL 10CS.
 - INSTALL 8" BIT CONCRETE CURB. REFER TO DETAIL 20CS.
 - CONSTRUCT CONCRETE ADA RAMP. REFER TO DETAIL 4CS.
 - INSTALL 4" CONCRETE SIDEWALK. REFER TO DETAIL 4CS. 6" CONCRETE PAVEMENT FOR ADA MODULAR BLOCK WALL WITH RAILING (VERSALOK BRONCO). ANY WALL OVER 4 FT IN HEIGHT SHALL BE DESIGNED BY AN ENGINEER AND A SIGNED PLAN SET OF DRAWINGS SHALL BE PROVIDED TO THE CITY PRIOR TO START OF CONSTRUCTION.
 - INSTALL "STOP" TRAFFIC CONTROL SIGN.
 - CONSTRUCT CONCRETE ENTRANCE APRON. SEE DETAIL 10CS.
 - 6" MIN. TOP SOIL AND HYDRO SEEDED WITH LOW GROW FESCUE @ 220 LBS. PER ACRE, 100 LBS. PER ACRE ANNUALLY.
 - INSTALL HANDICAP SIGNAGE. SEE DETAIL 10CS.
 - INSTALL FENCING AT RETAINING WALL PER ARCHITECT DETAIL.
 - INSTALL CONCRETE APRON SECTION. SEE DETAIL 10CS.
 - INSTALL CONCRETE TRUCK DOCK APRON USE SECTION FOUND IN DETAIL 10CS.
 - INSTALL BIT TRAIL SECTION (SEE DETAIL 11CS).
 - INSTALL CONCRETE FLEEDG STEEL ROLLARD 1/4" FT BEYOND GRADE AND 3'-6" FT ABOVE GRADE) CAP WITH STANDARD YELLOW COVER FROM IDEAL SHIELD.
 - INSTALL TRASH ENCLOSURE W/ GATE AND CONCRETE PAD PER DETAIL 10CS.
 - RIP RAP STORM WATER DISBURSER.
 - CONSTRUCT ACCESSIBLE RAMP LANDING, 2% MAX SLOPE EITHER UP OR DOWN TO RAMP. RAMP SHALL BE CONSTRUCTED WITH 2'-4" LIMESTONE ROCK MULCH OVER GEOTEXTILE FABRIC TYPE 4 NON WOVEN.

- LAYOUT NOTES:**
- ALL RADI TO FACE OF CURB
 - ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
 - PAVEMENT STRIPING TO BE 4" WIDE WHITE EPOXY PAINTED STRIPE.



DRAWING PHASE:	
OWNER REVIEW	
AGENCY REVIEW	✓
BIDDING DOCUMENT	
FOR CONSTRUCTION	
AS-BUILT DOCUMENT	

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17659 A. ERICKSON, P.E.
 LICENSE NO. 40418
 09/03/2015
 DATE

CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

NO. 15-143
 SHEET TITLE
 GRADING PLAN
 SHEET NO. **C3**
 SHEET 3 OF 6



LEGEND:

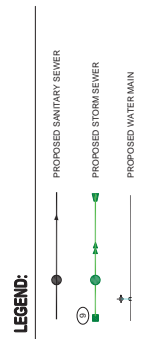
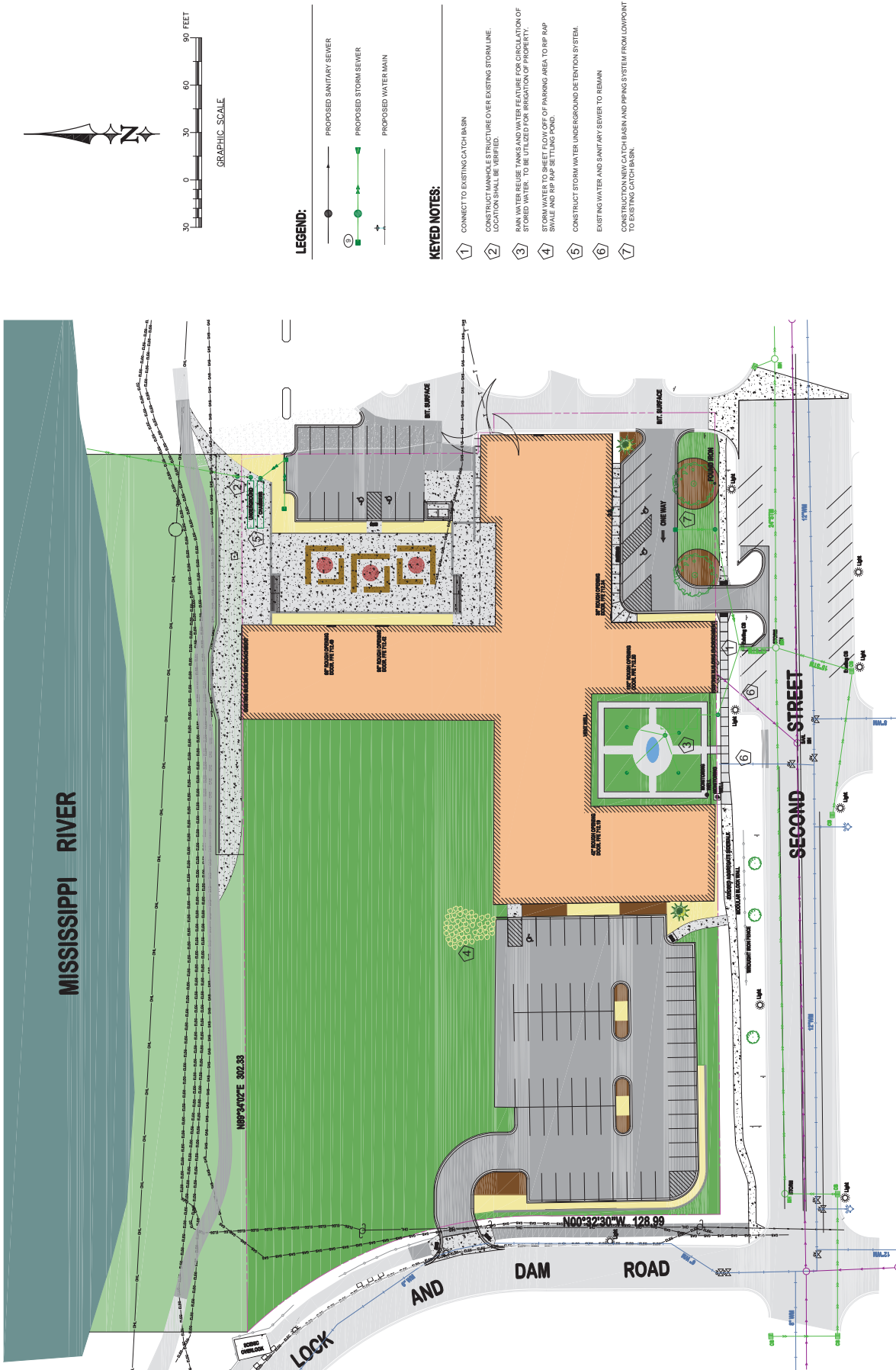
- EXISTING PROPERTY BOUNDARY
- EXISTING 1-Ft CONTOUR
- PROPOSED 1-Ft CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING FINISH FLOOR SURFACE
- GL - GUTTER LINE
- C - CONCRETE SURFACE
- AS - ASPHALT SURFACE
- TW - TOP OF WALL
- BTW - BOTTOM OF WALL
- NOTE: * REPRESENTS EXISTING GRADE

KEYED NOTES:

- MATCH EXISTING BITUMINOUS PAVEMENT ELEVATIONS.



NO.	REVISION DESCRIPTION	DATE



- KEYED NOTES:**
- 1 CONNECT TO EXISTING CATCH BASIN
 - 2 CONSTRUCT MANHOLE STRUCTURE OVER EXISTING STORM LINE. LOCATION SHALL BE VERIFIED.
 - 3 RAIN WATER REUSE TANKS AND WATER FEATURE FOR CIRCULATION OF STORED WATER. TO BE UTILIZED FOR IRRIGATION OF PROPERTY.
 - 4 STORM WATER TO SHEET FLOW OFF OF PARKING AREA TO RPP SWALE AND RPP RAP SETTLING POND.
 - 5 CONSTRUCT STORM WATER UNDERGROUND DETENTION SYSTEM.
 - 6 EXISTING WATER AND SANITARY SEWER TO REMAIN
 - 7 CONSTRUCTION NEW CATCH BASIN AND PIPING SYSTEM FROM LOWPOINT TO EXISTING CATCH BASIN.

DRAWING PHASE:	
OWNER REVIEW:	
AGENCY REVIEW:	
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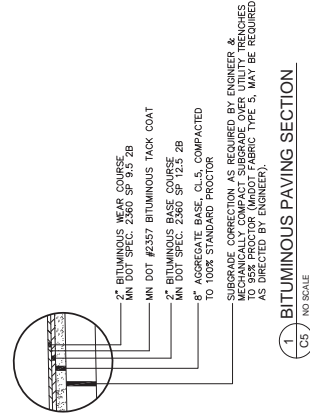
PROJECT NO. 17050 A STATIONING, ITC
 LICENSE NO. 40418
 DATE: 06/03/2015

CONFLUENCE, LLC
 101 East 10th Street, Suite 300
 Hastings, MN 55033

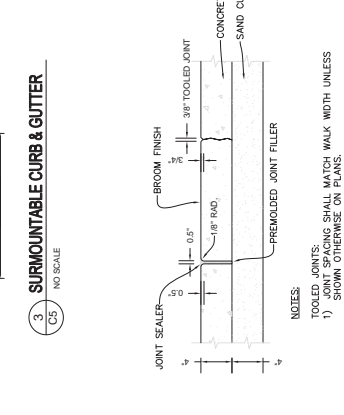
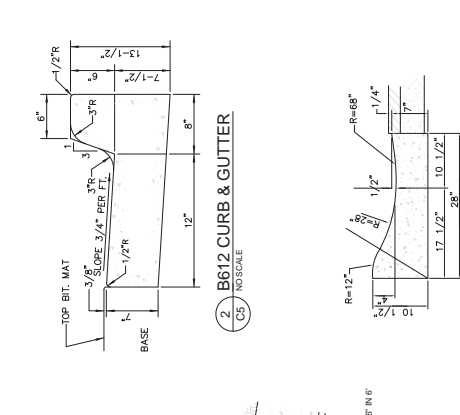
GREAT RIVERS LANDING
 HASTINGS, MINNESOTA

NO.	REVISION DESCRIPTION	DATE
1	6" GRAVEL NOT & GRAVEL	7/27/15

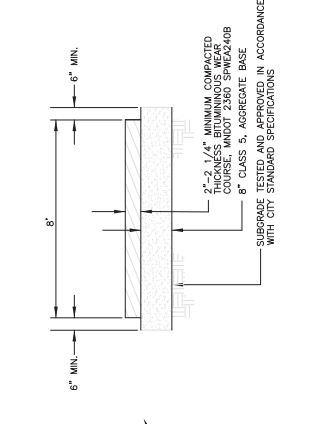
JOB NO. 15-143
 SHEET TITLE
 DETAILS



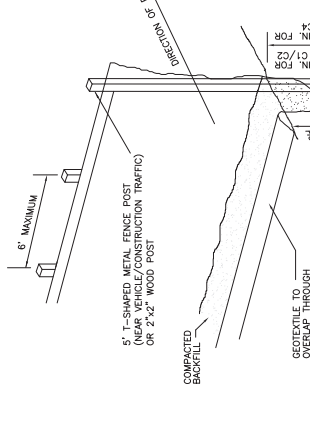
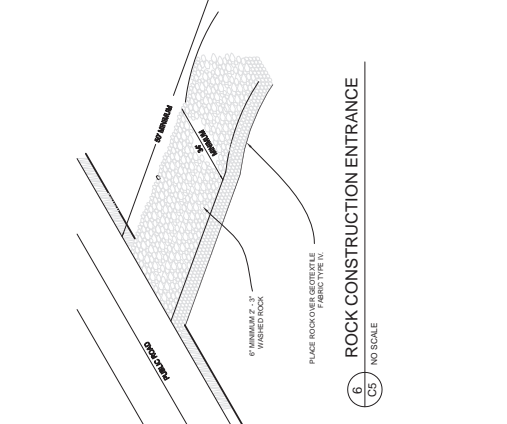
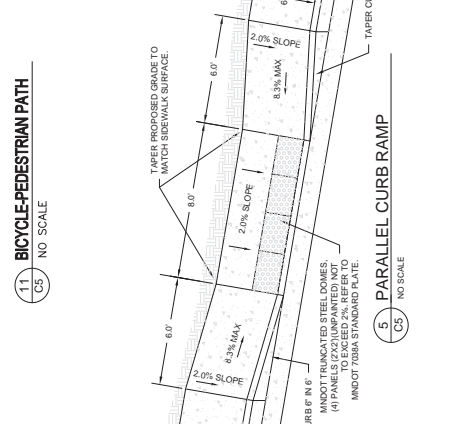
2 B612 CURB & GUTTER
 NO SCALE



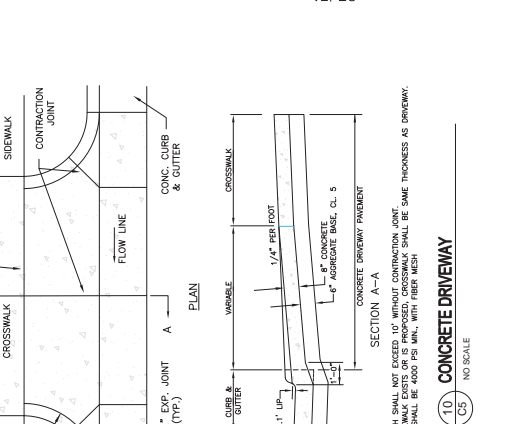
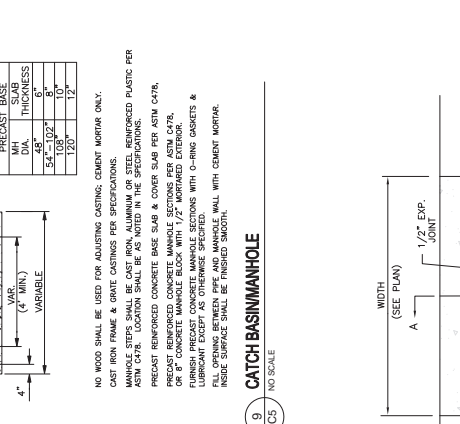
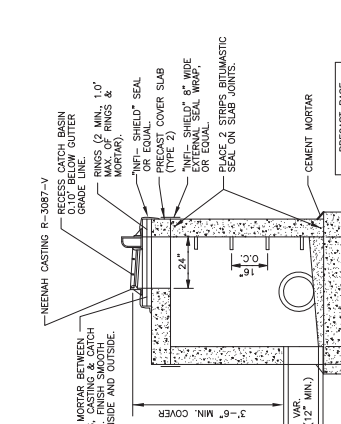
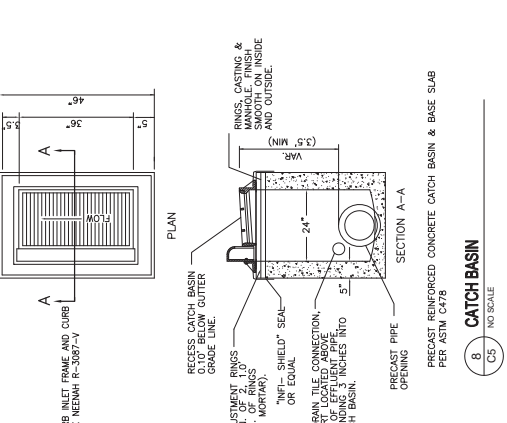
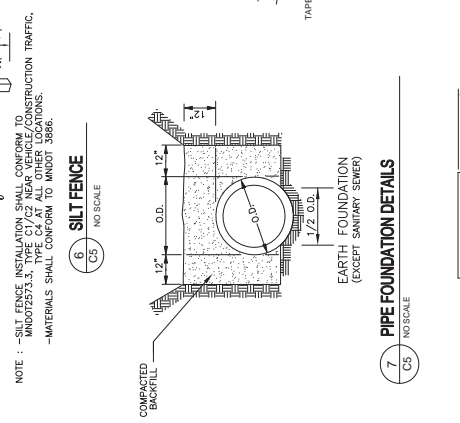
NOTES:
 1) JOINT SPACING SHALL MATCH WALK WIDTH UNLESS SHOWN OTHERWISE ON PLANS.
 2) EXPANSION JOINTS:
 1) WHERE WALK BUTTS ANY FIXED OBJECT SUCH AS CURB, CLOSURE WALLS, ETC.
 2) AT CENTER WALKWAY OR AS SHOWN ON PLANS.
 3) JOINT SEALER SHALL MEET ASTM D-412, GRAY, TYPE II, CLASS 5, WITH 'QUICOJUNT 300' OR EQUAL.



1.1 PARALLEL CURB RAMP
 NO SCALE



8 CATCH BASIN
 NO SCALE

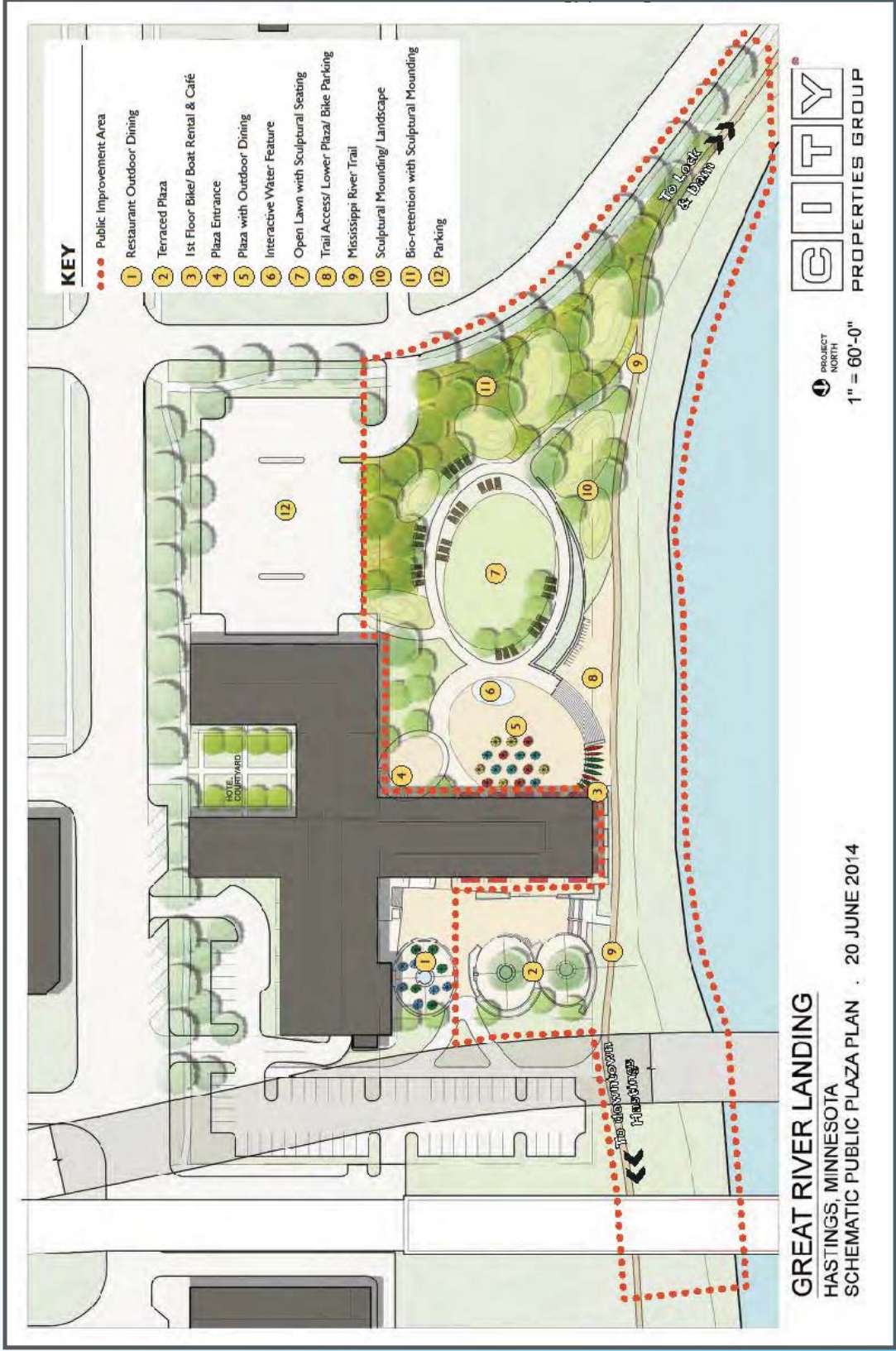


NOTES:
 1. CURB WITH SHARP CORNERS SHALL BE CAST WITH REINFORCING JOINTS.
 2. WHERE SIDEWALK EXISTS OR IS PROPOSED, CURBSIDE SHALL BE SAME THICKNESS AS SIDEWALK.
 3. CONCRETE SHALL BE 4000 PSI MIN. WITH FIBER MESH



**GREAT RIVER LANDING
HASTINGS, MINNESOTA**







Rainwater Garden
 The bioretention area for rainwater capture and infiltration. A rainwater garden can be installed in a variety of locations, including parking lots, streets, and other paved areas. Rainwater gardens can be designed to capture and infiltrate rainwater from a variety of sources, including roofs, parking lots, and streets. Rainwater gardens can be designed to capture and infiltrate rainwater from a variety of sources, including roofs, parking lots, and streets.



Rain Barrel
 Approximately 1,000 gallons of rainwater can be captured from a single rain barrel. Rain barrels can be installed on a variety of roofs, including asphalt shingle roofs, metal roofs, and tile roofs. Rain barrels can be designed to capture and store rainwater from a variety of sources, including roofs, parking lots, and streets.



Permeable Pavement
 Permeable pavement allows rainwater to infiltrate the ground through the pavement surface. Permeable pavement can be used in a variety of locations, including parking lots, streets, and other paved areas. Permeable pavement can be designed to capture and infiltrate rainwater from a variety of sources, including roofs, parking lots, and streets.



Green Roof
 Green roofs are roofs that are covered with vegetation. Green roofs can be used in a variety of locations, including parking lots, streets, and other paved areas. Green roofs can be designed to capture and infiltrate rainwater from a variety of sources, including roofs, parking lots, and streets.



Stormwater Detention
 Stormwater detention is a technique used to temporarily store stormwater. Stormwater detention can be used in a variety of locations, including parking lots, streets, and other paved areas. Stormwater detention can be designed to capture and infiltrate rainwater from a variety of sources, including roofs, parking lots, and streets.



Rainwater Harvesting
 Rainwater harvesting is a technique used to capture and store rainwater. Rainwater harvesting can be used in a variety of locations, including parking lots, streets, and other paved areas. Rainwater harvesting can be designed to capture and infiltrate rainwater from a variety of sources, including roofs, parking lots, and streets.



Lawn Infiltration
 Lawn infiltration is a technique used to capture and infiltrate rainwater. Lawn infiltration can be used in a variety of locations, including parking lots, streets, and other paved areas. Lawn infiltration can be designed to capture and infiltrate rainwater from a variety of sources, including roofs, parking lots, and streets.



Sculptural Bioretention
 Sculptural bioretention is a technique used to capture and infiltrate rainwater. Sculptural bioretention can be used in a variety of locations, including parking lots, streets, and other paved areas. Sculptural bioretention can be designed to capture and infiltrate rainwater from a variety of sources, including roofs, parking lots, and streets.