



**GARAGES/ADDITIONS AND
ACCESSORY BUILDINGS
Information Sheet**

This pamphlet is a compilation of some of the standard requirements based on the State Building Code and City Zoning Ordinance for projects of this type. This information packet does not contain all of the specific codes for construction and should only be used as a guide. The permittee is responsible to meet all code requirements applicable to each project.

Permits Building permits are required for all garages, additions, and for accessory buildings over 200 square feet in floor area. The fee for the building permit is based on the value of construction.

Plan Submittals Two copies of each of the following items must be submitted along with a completed permit application for review. Allow up to 10 working days for review and permit issuance upon complete submittal.

a. A site survey or plot plan showing the following information:

1. Lot size and all adjacent streets
2. Exact locations and dimensions of all existing and proposed buildings, walks and driveways on the site.
3. Owners name and address
4. If septic system/well present - indicate location

Note: Owner must be able to show corner monuments of the property or have the site surveyed to the satisfaction of the inspector on the site.

b. Building plans showing elevations, floor plans, footing/foundation plans and a wall section. All plans must be fully dimensioned and to scale. All materials for construction must be called out on the plans. Beams and header sizes, floor joist-wall stud-ceiling joist sizes and spacing must be specified also.

Roof trusses must be pre-engineered by a truss manufacturing company or your drawings of the truss design must be signed by a registered professional engineer of Minnesota.

Setback Requirements All accessory structures and additions are subject to the development agreement or City code for setbacks from property lines. All buildings must have a minimum separation of 6 ft. from all other structures. Contact the City Planning Department for proper setback requirements in your zoning district.

Lot Coverage City code requires (for open spaces) that only a certain percentage of a property be covered with buildings, paved or other impervious surfaces. Contact the City Planning Department of maximum lot coverages based on zoning districts.

**General
Design
Standards**

All accessory structure roofs must be designed for a 35 lb per square foot live load
10 lb per square foot dead load.

- Additions to any existing structure which currently has frost footings must also be designed with frost footings.
- All frost footings must be 42" deep minimum.
- All wood in direct contact with concrete or masonry must be pressure treated or equal.
- Garage slabs should be designed to be 4 inches thick throughout - minimum with reinforcement.
- Floating slabs should be designed with 8 inch thick by 12 inch wide perimeters. ½ inch diameter anchor bolts are required at 6 feet on center and within 12 inches of corners and openings. 2 anchor bolts per plate - minimum.
- The sidewall height of accessory structures shall be limited to 10 ft. per Chapter 4, Subd. 4 of Hastings City Ordinance. Sidewall height is measured from slab to top plate. A double top plate is required.
- All wall sheathing joints must be on studs, plates or solid 2 by blocking and fastened per code. Fiberboard sheathing must be installed with the long direction vertically.
- See span tables for maximum allowable spans for ceiling joists and rafters.
- The common wall between attached garages and a dwelling must be fire rated on the garage side of the wall with 5/8 inch type X sheetrock run from the floor to the roof deck. Sheetrock joints must all be tight or must be taped. Doors through this wall must be 20 minute fire doors or 1 3/8 inch solid. There may not be any windows or openings in this wall.
- Insulated attic space must be provided with roof ventilation per code.
- An approved underlayment roofing starter edge is required at all roof edges over insulated attics.
- When additions/alterations are done on a home and the work exceeds \$1000.00 in valuation, battery operated or hardwired with battery backup smoke detectors must be installed throughout the existing dwelling per code. Smoke detectors would be required in each bedroom, hallways serving bedrooms and on each floor level of the dwelling. These must be installed and operational by final inspection.
- Verify all joist, rafter, header, beam, column and footing pad sizes with the City inspection department.
- A hard surfaced landing is required outside exit doors.

- A dwellings heating system may not have duct openings into a garage for heating, cooling, or ventilation.
- All habitable rooms must be provided with a warm air supply and return air duct.
- All bathrooms without operable windows must have a mechanical exhaust fan provided in the room-ducted to the exterior of the building.
- All habitable rooms shall have an average ceiling height of not less than 7 ft 6 inches.
- All attic spaces over 30 inches in height must be provided with an attic access which is 22" x 30" minimum. Crawl spaces must be provided with an 18x24" unobstructed access also.
- The ground in a crawl space must be covered with 6 mill poly to seal out moisture.
- Crawl spaces must be provided with proper ventilation per code or be heated.
- Exposed poly vapor barriers must be smoke and flame rated per code. Verify with City inspection department.
- No foam insulation may be left exposed in any crawl space, attic or habitable space unless specifically approved to do so by code.
- Minimum insulation requirements for dwellings -

R19	Exterior walls	R19	Rim joist spaces
R44	Attic spaces	R24	Cantilevers/floors
R10	Foundation walls	R8	Duct work in cold spaces
- A 4 mil poly vapor barrier is required on the warm side of all exterior walls and ceilings.
- Anti-scalding shower valves are required for all shower units.
- 30 inches in clear width and 24 inches of clear space in front is required for all toilets.
- No toilets may exceed 1.6 gallon flush capacity.
- Black plastic (ABS) or white plastic (PVC) drain waste and vent pipe may not be glued together. Use the same type of plastic pipe used in the existing portions of the house. A proper transition coupling is required to connect plastic pipe to cast.
- No more than three fixtures in the same room may be supplied with ½ inch copper water lines.

- Each fixture shall have an approved water supply shutoff valve.
- Maintain 30 inches of clear working space in front of all mechanical equipment and electrical panels. Electrical panels may not be installed in closets.
- Caulk and/or flash around all exterior openings.
- Slope finished grade away from the structure on all sides.
- Call Gopher State One Call prior to any digging to verify utility locations. Call 454-0002 48 hours in advance of digging.
- Post 4 inch address numbers on the front of the house.
- A hard surface drive (asphalt/concrete) is required.

Inspections

The type and timing of inspections depend on the project and its complexity. The inspections department will review required inspections with you on a project by project basis.

A 24 hour notice is required for all inspections. You must know the permit number, and address to schedule an inspection. Inspections will only be done Monday through Friday (excluding holidays) from 9:00 a.m. to 3:15 p.m. Call 480-2342 to schedule all but electrical inspections.

Electrical inspections are done by the State of Minnesota - Electrical Inspector Michael Hawke. Call 952-997-6822 between 7:00 a.m. and 8:30 a.m. to schedule an electrical inspection.

Span Tables for No. 2 Grade Wood Members

FLOOR JOISTS				40#LL + 10#DL						L/360		
	2 x 6			2 x 8			2 x 10			2 x 12		
	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC
Douglas Fir-Larch	10-9	9-9	8-1	14-2	12-7	10-3	17-9	15-5	12-7	20-7	17-10	14-7
Hem-Fir	10-0	9-1	7-11	13-2	12-0	10-2	16-10	15-2	12-5	20-4	17-7	14-4
Ponderosa Pine	9-2	8-4	7-0	12-1	10-10	8-10	15-4	13-3	10-10	17-9	15-5	12-7
Southern Pine	10-9	9-9	8-6	14-2	12-10	11-0	18-0	16-1	13-5	21-9	19-0	15-4
S-P-F	10-3	9-4	8-1	13-6	12-3	10-3	17-3	15-5	12-7	20-7	17-10	14-7
Western Cedars	9-2	8-4	7-3	12-1	11-0	9-2	15-5	13-9	11-3	18-5	16-0	13-0
Western Woods	9-2	8-4	7-0	12-1	10-10	8-10	15-4	13-3	10-10	17-9	15-5	12-7

RAFTERS: FLAT CEILING ROOMS; ATTACHED GARAGES				40#LL + 7#DL						L/180		
	2 x 6			2 x 8			2 x 10			2 x 12		
	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC
Douglas Fir-Larch	12-8	11-0	9-0	16-1	13-11	11-5	19-8	17-0	13-11	22-9	19-9	16-1
Hem-Fir	12-6	10-10	8-10	15-10	13-9	11-3	19-4	16-9	13-8	22-6	19-5	15-11
S-P-F	12-8	11-0	9-0	16-1	13-11	11-5	19-8	17-0	13-11	22-9	19-9	16-1
Western Woods	10-11	9-6	7-9	13-10	12-0	9-10	16-11	14-8	12-0	19-8	17-0	13-11

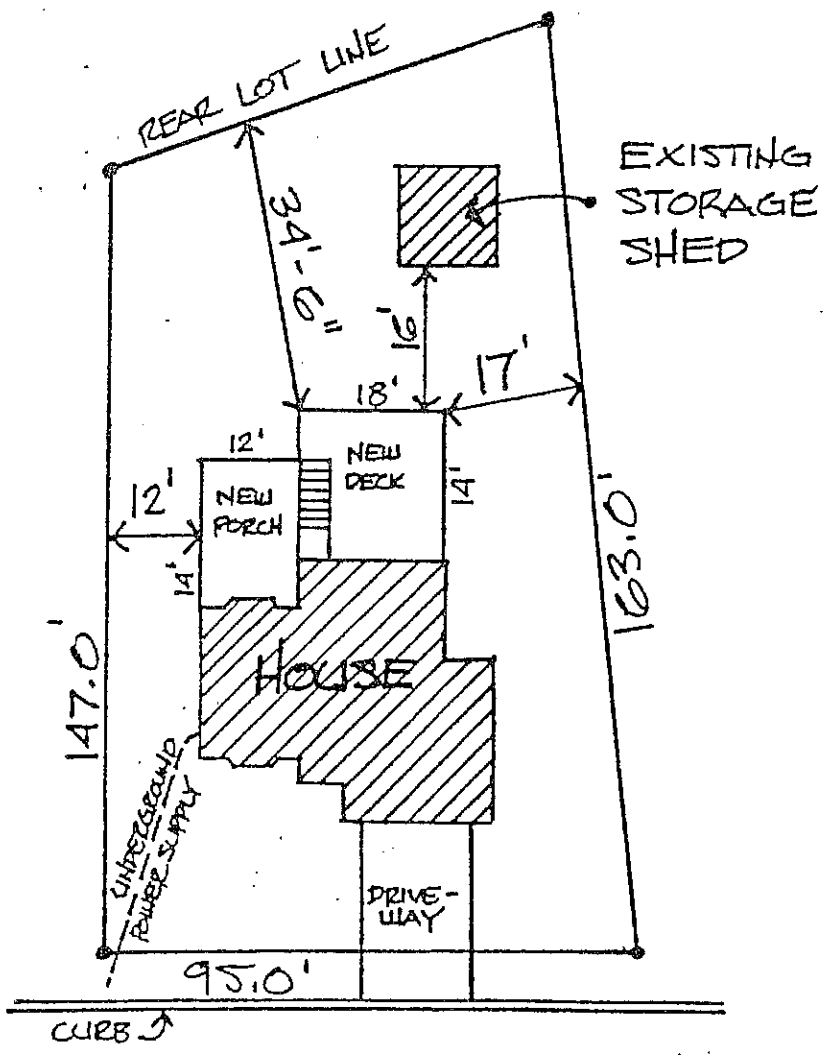
RAFTERS: VAULTED CEILINGS				40#LL + 15#DL						L/240		
	2 x 6			2 x 8			2 x 10			2 x 12		
	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC
Douglas Fir-Larch	11-9	10-2	8-4	14-10	12-11	10-6	18-2	15-9	12-10	21-1	18-3	14-11
Hem-Fir	11-5	10-0	8-2	14-8	12-8	10-4	17-11	15-6	12-8	20-9	18-0	14-8
S-P-F	11-9	10-2	8-4	14-10	12-11	10-6	18-2	15-9	12-10	21-1	18-3	14-11
Western Woods	10-1	8-9	7-2	12-10	11-1	9-1	15-8	13-7	11-1	18-2	15-9	12-10

RAFTERS: DETACHED GARAGES				30#LL + 7#DL						L/180		
	2 x 6			2 x 8			2 x 10			2 x 12		
	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC
Douglas Fir-Larch	14-4	12-5	10-1	18-2	15-8	12-10	22-2	19-2	15-8	25-8	22-3	18-2
Hem-Fir	13-10	12-3	10-0	17-10	15-6	12-8	21-10	18-11	15-5	25-4	21-11	17-11
S-P-F	14-4	12-5	10-1	18-2	15-8	12-10	22-2	19-2	15-8	25-8	22-3	18-2
Western Woods	12-4	10-8	8-9	15-8	13-6	11-1	19-1	16-6	13-6	22-2	19-2	15-8

CEILING JOISTS				20#LL + 10#DL						L/240		
	2 x 4			2 x 6			2 x 8			2 x 10		
	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC
Douglas Fir-Larch	9-10	8-9	7-2	14-10	12-10	10-6	18-9	16-3	13-3	22-11	19-10	16-3
Hem-Fir	9-2	8-4	7-1	14-5	12-8	10-4	18-6	16-0	13-1	22-7	19-7	16-0
S-P-F	9-5	8-7	7-2	14-9	12-10	10-6	18-9	16-3	13-3	22-11	19-10	16-3
Western Woods	8-5	7-7	6-2	12-9	11-1	9-0	16-2	14-0	11-5	19-9	17-1	14-0

EXAMPLE SITE PLAN

PROPOSED NEW DECK/PORCH
LOCATION



PROVIDE 2 COPIES
OF A SITE PLAN

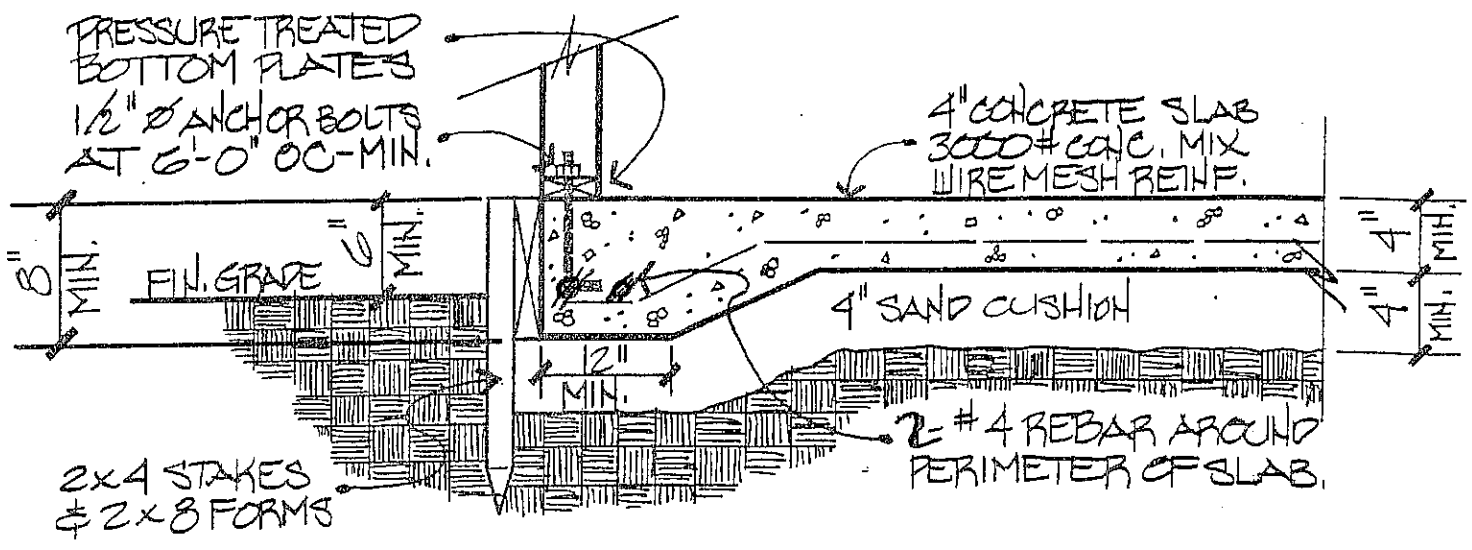
SHOW - ON PLAN

- LOT SIZE
- STREET NAME
- ADDRESS
- OWNER NAME
- ALL EXISTING STRUCTURES
- DRIVEWAY
- POND/LAKE/STREAM
- SPECIAL EASEMENTS
- POWER SUPPLY
- LOCATION ON NEW STRUCTURE
- SIZE OF NEW STRUCTURE
- DIMENSIONS TO LOT LINES
- DIMENSIONS TO OTHER BLDGS.

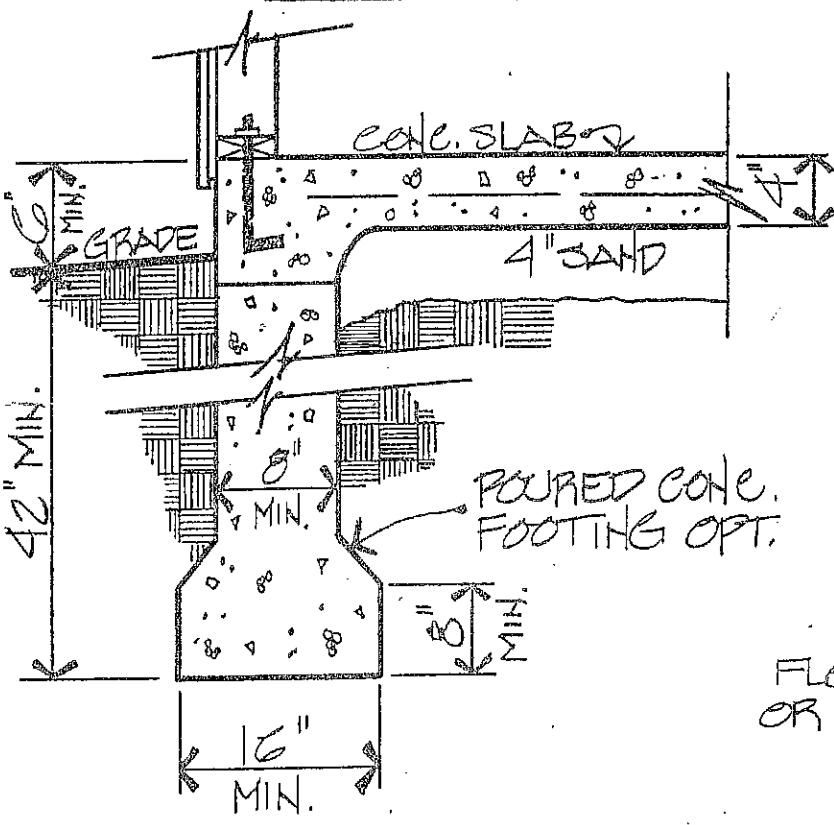
NOTE: IF SITE
PLAN IS NOT
COMPLETE THE
PROCESS FOR
REVIEW OF
APPLICATION WILL
BE HELD UP.

5284-182ND ST. WEST
JACK & JILL SMITH

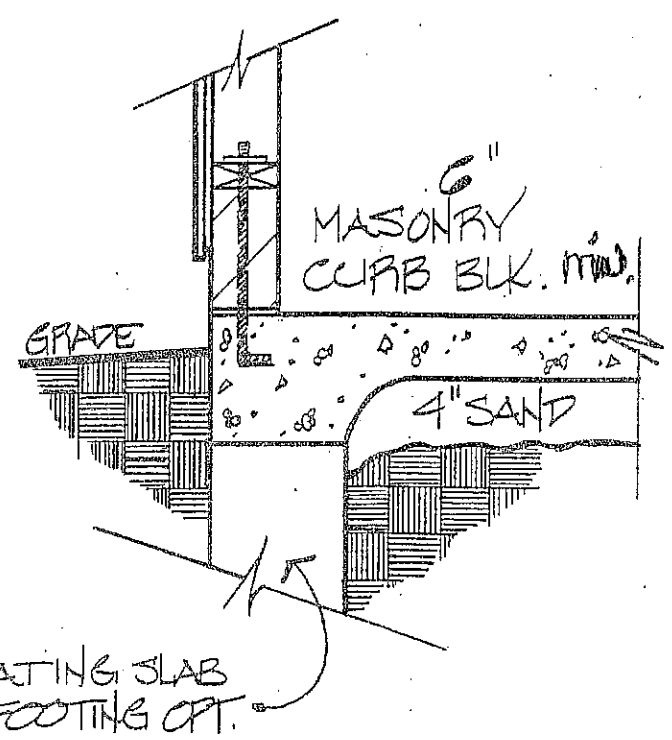
GORHERSTATE | CALL
454-XXXX



TYPICAL SLAB EDGE DETAIL



FROST FOOTING



CURB ALTERNATE

NOTES :

- NUMBER 4 REBAR MUST BE LAPED 15" MIN. AT ALL REQ'D LOCATIONS.
- ALL CONCRETE MUST BE MIXED 3000# CONC. MIX WIRE MESH REINF.
- POOR SOIL CONDITIONS MAY REQUIRE THE USE OF ADDITIONAL REBAR OR OVERSIZING OF FOOTINGS - VERIFY WITH INSPECTOR.