

2024 NEIGHBORHOOD INFRASTRUCTURE IMPROVEMENTS PROJECT INTRODUCTION & OVERVIEW



January 8, 2024

2024 Neighborhood Infrastructure Improvements



Agenda



- Hastings Engineering Team Introduction
- Project Website
- Project Schedule
- Project Design Highlights
- Overview of Improvements by Area
- Project Financials and Assessments
- Project Outreach Next Steps

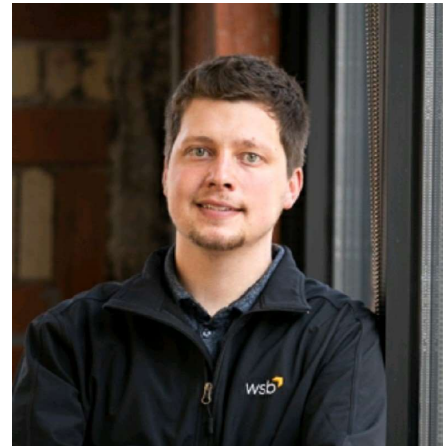
PROJECT TEAM CONTACTS



Ryan Stempski, P.E.
*Public Works Director/
City Engineer*



Cody Mathisen, P.E.
Principal Engineer



Bo Schuette
*Engineering
Technician*



Sam Schmidtke
*Administrative
Assistant*

Engineering Department Phone:

(651) 480-2334

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Project Website

Construction Bidding

Highway 61 Study

Hwy 316 Project Updates

Mill and Overlay Program

2024 Neighborhood Infrastructure Improvements

Pavement Management Program

+ Engineering Standards and FAQs

+ Street and Utility Programs

+ Storm Water Management

Utility Billing and Rates

+ Water Supply Management

2024 Neighborhood Infrastructure Improvements

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Welcome to the 2024 Neighborhood Infrastructure Improvements Project Page! We are currently in our public outreach process from January 8th to January 26th and highly encourage you to watch the project overview video below, as well as complete our online feedback and communication preferences survey. You will also find several helpful documents, maps, and figures with more information linked below.

Public Outreach Process

- Watch 2024 Project Overview Video (15 minutes)
- Complete Online Project Feedback & Communication Preferences Survey
- **Open House Details**
 - **Where** - St. Phillips Church (Fellowship Room)
 - **Date** - Thursday, January 25th
 - **Time** - 5:00 - 7:30 PM
 - **Who Should Attend** - Residents within the impacted project area who still have questions/concerns for City staff after viewing the project overview video and additional resources on this page

Additional Project Resources:

- Project Map
- Street-by-Street Project Design Figures
- Project Costs and Special Assessments Information
- Project Overview Slideshow from Video
- Street-by-Street Project Design Summary
- Construction Process Major Steps Overview
- Project Introduction - Neighborhood Meeting Invitation

2024 Project Map



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- Design Summary and Figures
- Resources for what to expect during construction
- Construction updates this summer

GENERAL PROJECT TIMELINE

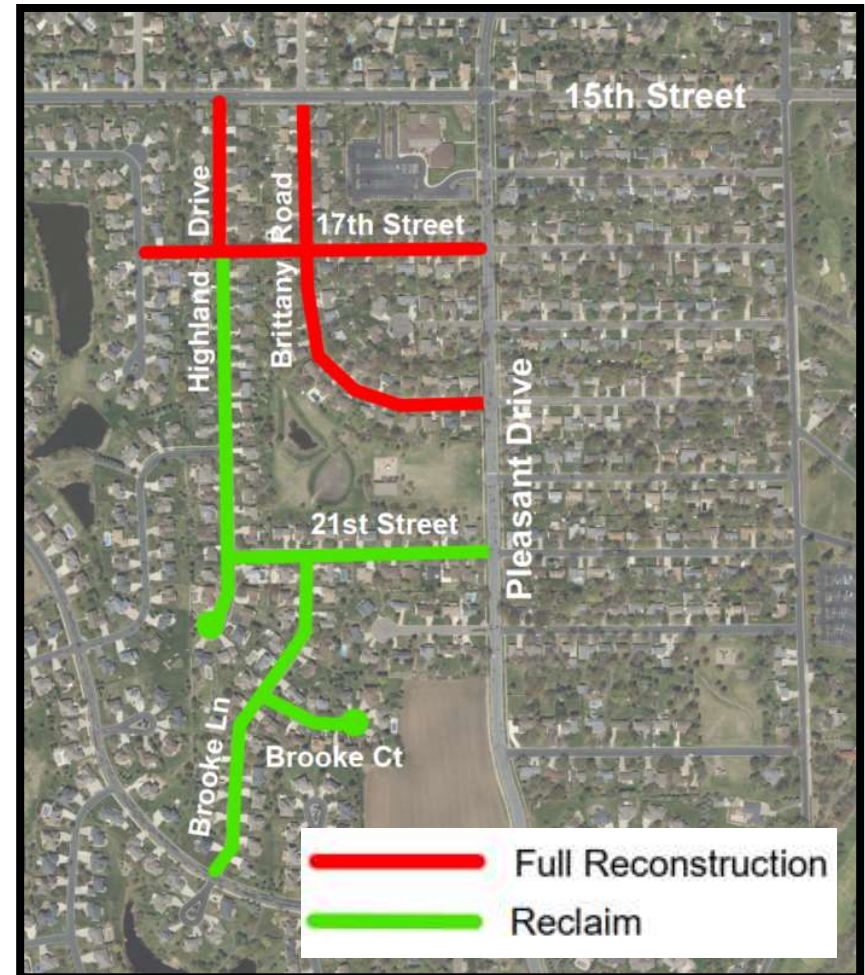
We Are
Here! →

1. **2023** - Evaluated existing infrastructure.
2. **Nov. 2023 – Jan 2024:** Design proposed streets and utility replacements.
3. **December 2023** - Estimated costs of proposed improvements.
4. **Jan. - Conduct neighborhood meetings to gather resident input and explain process.**
5. **February** - Review of the feasibility study by the City Council.
6. **March** - The City Council Holds a Public Hearing
 - The Council receives a summary of the project and costs.
 - The Council hears comments from affected residents and the public at-large.
 - If the City Council orders the proposed improvements, construction plans are finalized.
7. **March** - Bids are solicited from interested contractors.
8. **Early April** – The City Council Holds an Assessment Hearing
9. **April** - Contract is awarded to the qualified contractor who submits best value bid
10. **May** - Construction begins (See project webpage for steps to expect)
11. **October** - Construction Substantially Complete



2024 Proposed Neighborhood Improvements

- **Brittany Road**
 - 15th Street to Pleasant Drive
- **17th Street**
 - Meadowview Trail to Pleasant Drive
- **Highland Drive**
 - 15th Street to 17th Street (*Reconstruct*)
 - 17th Street to Cul-De-Sac (*Reclaim*)
- **21st Street**
 - Highland Drive to Pleasant Drive
- **Brooke Lane**
 - 21st Street to Northridge Drive
- **Brooke Court**



Existing Road Conditions

Sample – Brittany Road



Street Notes

Current Width – 36' Curb to Curb

Proposed width – 32' Curb to Curb

Excess width - higher maintenance costs,
connecting 19th Street east of Pleasant drive
is already at 32'

Utility Notes

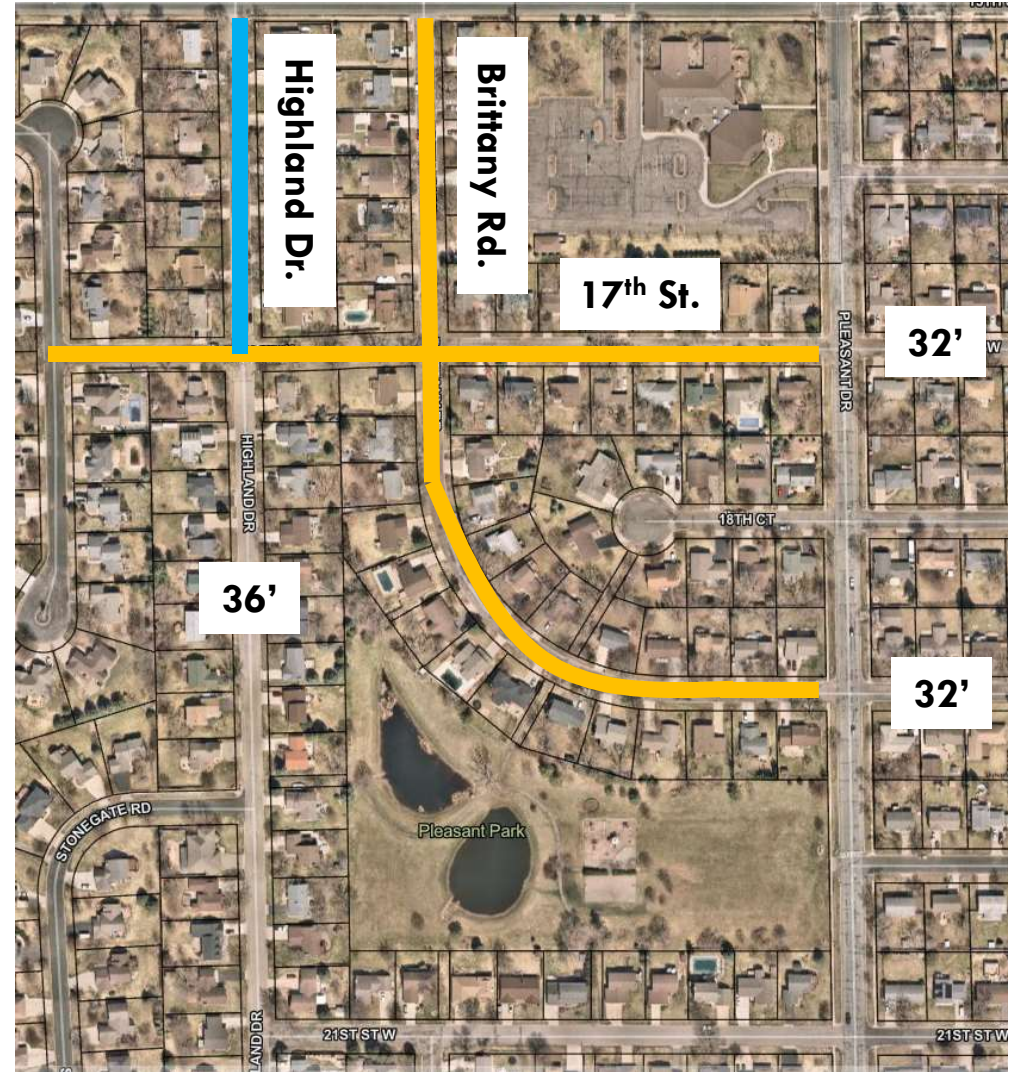
Watermain – Cast Iron Pipe nearing 50 years of age
with history of breaks on this street as well as 17th and
Highland

Sanitary Sewer – Clay pipe nearing 50 years of age
with visible root intrusions requiring heavy maintenance

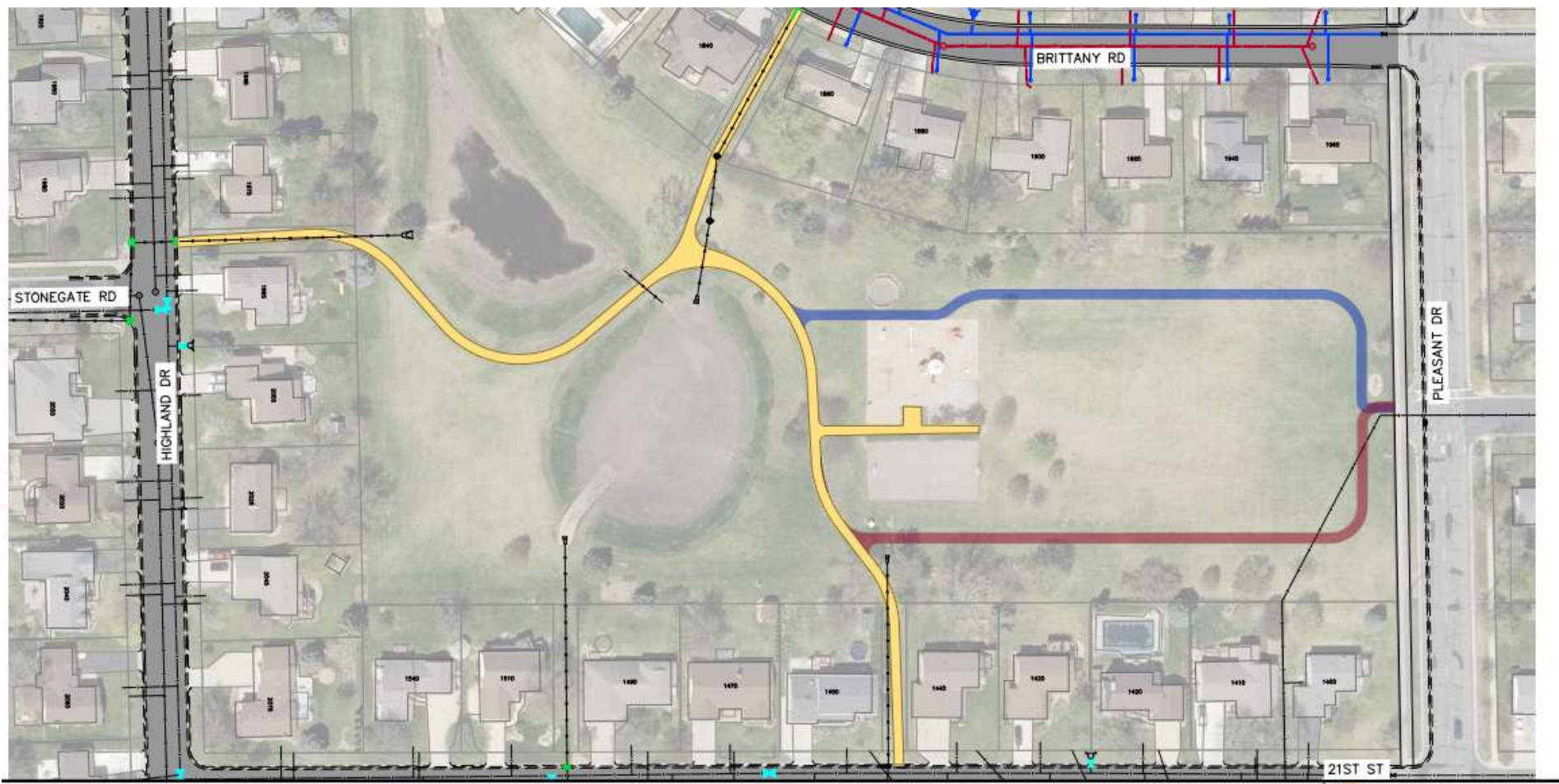
Brittany Rd, 17th St, Highland Dr.

Consideration for Narrowing

- ❑ Existing Street Widths are 36'
- ❑ Narrowing Brittany Road to 32'
 - ❑ To match East Side of Pleasant 19th Street
- ❑ Narrowing 17th Street to 32'
 - ❑ To match East Side of Pleasant 19th Street
- ❑ Leaving Highland Drive at 36'
 - ❑ Only 1 of 3 blocks is being reconstructed
- ❑ Two sided parking would remain
- ❑ 32' is standard for non-collector residential streets with 2 sided parking
- ❑ 2' narrowed from each side on Brittany/17th



Trail Construction – Pleasant Park



2024-1 Neighborhood Project



**Proposed
Improvements by Area
Plan View**

Assessment Policy – 2024 Per-Lot Method



- Assessment is based on special benefit to properties - determined as the increase in property value attributed to the public improvements
- **Appraisal conducted by Patchin Messner Valuation Counselors provided recommendation for the special benefit for a typical property based on similar projects**
- Established a per lot rate for each improvement and property type
- Corner lots given 100% of the per lot rate for the short side and 25% of the per lot rate for the long side

Proposed Assessment Rates & Details

Reconstruction Streets <i>17th Street, Brittany Road, and Highland Drive from 15th Street to 17th Street</i>	
Unit Type	Assessed Rate
Single Family Home – Standard*	\$7,650 per Lot

Reclaim Streets <i>Brooke Ln, Brooke Ct, 21st St, and Highland Dr 17th St to Cul-de-sac</i>	
Unit Type	Assessed Rate
Single Family Home – Standard*	\$6,750 per Lot

- **Corner Lots**
 - Corner lots given 100% of the per lot rate for the short side and 25% of the per lot rate for the long side

**Standard lots are non-corner lots which front an improved street.*

Proposed Assessment Rates & Details

□ **Assessment Timing**

- All information sent out in August
- All or part of assessment can be paid up front, before Nov. 30th 2024
- Remaining assessment amount not paid in 2024 will be placed onto property taxes beginning 2025
- 1st payment due spring 2025 with property taxes

□ **Payment Options**

- Entire amount or remainder not paid up front certified to taxes levied over 10 years

□ **Assessment Assistance**

- Abatement - Grant Program through Dakota County – application will be sent with mailing. County determines eligibility based on income and may cover all or part of assessment.
- Deferment Option – 65+, retired by permanent disability, or active military

Assessment Totals



- **Total Project Costs = \$4,250,000**
- **Total Private Assessments = \$1,115,000**
- **Percentage of Project Paid by Assessments ~26%**

Neighborhood Outreach - Your Next Steps

- 1. Visit Project Webpage for additional resources**
- 2. Fill out your project feedback and communication preferences survey**
- 3. If you have remaining questions or concerns you'd like to discuss with engineering, do 1 of the following before January 26th**
 - 1. Call us at 651-480-2334** to discuss your questions or setup another time for a 1-on-1 meeting (phone, virtual, in-person)
 - 2. Attend Open House at St. Phillips Church**
Thursday, January 25th
5:00 – 7:30 PM

Communication Survey



Two Ways to Get your Information Back to Us

1. Fill out the form online (preferred) by going to the project webpage and click the link titled “Project Feedback & Communication Preferences Survey”
2. Fill out the physical form that was mailed with your neighborhood meeting information and mail it back

Coming Soon



Watch Your Mailbox!

- Public Hearing and Assessment Hearing Notices
- Construction Kickoff Packet

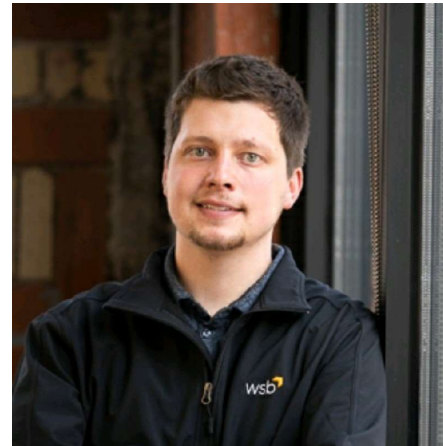
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